

CITY OF CELINA, TEXAS

ORDINANCE 2015- 75  
WELLS SOUTH ZONING - PD-58

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF CELINA, TEXAS, AMENDING ORDINANCE NO. 2006-57, AS HERETOFORE AMENDED, THE SAME BEING THE COMPREHENSIVE ZONING ORDINANCE, AND AMENDING THE OFFICIAL ZONING MAP OF THE CITY BY DESIGNATING THE ZONING OF LAND THAT IS AN APPROXIMATELY 400.5 ACRE TRACT OF LAND LOCATED IN THE W. WILHITE SURVEY, ABSTRACT NO. 1002 AND THE JONATHAN WESTOVEN SURVEY, ABSTRACT NO. 1030, COLLIN COUNTY, TEXAS; AS DESCRIBED IN EXHIBIT "A" AND DEPICTED IN EXHIBIT "B" ATTACHED HERETO AND INCORPORATED HEREIN TO BE ZONED "PD" PLANNED DEVELOPMENT DISTRICT #58; PROVIDING FOR INCORPORATION OF PREMISES; PROVIDING FINDINGS; PROVIDING FOR AMENDMENT OF ZONING CLASSIFICATION; PROVIDING FOR ZONING DESIGNATION AND DEVELOPMENT STANDARDS; PROVIDING FOR REVISION OF ZONING MAP; PROVIDING FOR COMPLIANCE; PROVIDING FOR A PENALTY NOT TO EXCEED \$2,000.00 AND A SEPARATE OFFENSE SHALL BE DEEMED COMMITTED EACH DAY DURING OR ON WHICH A VIOLATION OCCURS OR CONTINUES AND INCLUDING PROVISIONS FOR THE AUTHORIZATION TO SEEK INJUNCTIVE RELIEF TO ENJOIN VIOLATIONS WHICH CONSTITUTE AN IMMINENT HAZARD OR DANGER TO PUBLIC HEALTH AND SAFETY; PROVIDING A CUMULATIVE REPEALER CLAUSE; PROVIDING FOR SAVINGS; PROVIDING FOR SEVERABILITY; PROVIDING FOR PUBLICATION; PROVIDING FOR ENGROSSMENT AND ENROLLMENT; AND PROVIDING AN EFFECTIVE DATE.**

**WHEREAS**, the City of Celina is a home rule municipality located in Collin, and Denton County, Texas created in accordance with the provisions of the Texas Local Government Code, The Texas Constitution and operating pursuant to the enabling legislation of the state of Texas; and

**WHEREAS**, the City Council of the City of Celina, Texas is empowered under Local Government Code 54.001 to do all acts and make all regulations which may be necessary or expedient for the promotion of the public health, safety and general welfare; and

**WHEREAS**, Title 7 Chapter 211.003 of the Texas Local Government Code, empowers a municipality to, among other things, establish and amend zoning districts, classifications of land use, adopt a comprehensive plan to regulate the use of land and open spaces, adopt and amend zoning regulations, regulate population density, and regulate the use and location of buildings; and

**WHEREAS**, the establishment of a zoning classification has been requested for the property more specifically described in Exhibit "A" attached hereto and incorporated herein; and

**WHEREAS**, the tract comprising the property has been depicted in detail in Exhibit "B" attached hereto; and incorporated herein; and

**WHEREAS**, the concept plan and development regulations set forth in Exhibit "C" and Exhibit "D" attached hereto and incorporated herein define the base zoning districts and provide for certain modifications to such district regulations.

**WHEREAS**, the City Council has considered, among other things, the character of the property and its suitability for particular uses, with a view of encouraging the most appropriate use of land in the City, and is in the interest of public health, safety, and welfare, and does hereby find that the requested zoning accomplishes such objectives and is consistent with the provisions of the 2030 Comprehensive Plan of the City of Celina; and

**WHEREAS**, the Planning and Zoning Commission of the City of Celina and the City Council of the City of Celina, in compliance with the laws of the State of Texas and the ordinances of the City of Celina, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area and in the vicinity thereof; and

**WHEREAS**, the City Council, in the exercise of its legislative discretion has concluded that the zoning classification on the tract of land described herein should be changed and the zoning map so amended.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CELINA, TEXAS**

**SECTION 1**  
**INCORPORATION OF PREMISES**

The above and foregoing premises are true and correct and are incorporated herein and made a part hereof for all purposes.

**SECTION 2**  
**FINDINGS**

After due deliberations the City Council has concluded that the adoption of this Ordinance is in the best interest of the City of Celina, Texas and of the public health, safety and welfare.

**SECTION 3**  
**AMENDMENT OF ZONING CLASSIFICATION**

That the zoning classification is hereby established as "PD" Planned Development District, #53 on a certain tract of land described in in Exhibit "A" and depicted in Exhibit "B".

**SECTION 4**  
**ZONING DESIGNATION AND DEVELOPMENT STANDARDS**

4.01 That Ordinance No. 2006-57 of the City of Celina, Texas, as heretofore amended, the same being the City's Comprehensive Zoning Ordinance, is hereby amended by designating the zoning on the land, depicted in Exhibit "A" attached hereto and incorporated herein, as "PD" Planned Development District #53.

4.02 This ordinance only regulates the uses allowed for the property identified above. All development and construction shall occur in accordance with the requirements of this ordinance; the concept plan set forth in Exhibit "C"; the development standards set forth in Exhibit "D" and all other applicable ordinances, rules, and regulations of the City.

**SECTION 5**  
**REVISION OF ZONING MAP**

That the City Manager for the City of Celina is hereby directed to mark and indicate on the official Zoning District Map of the City the zoning change herein made.

**SECTION 6**  
**COMPLIANCE REQUIRED**

That the property depicted on Exhibit "A" hereto shall be used only in the manner and for the purposes provided for in this ordinance and the Comprehensive Zoning Ordinance, of the City of Celina as amended.

**SECTION 7**  
**PENALTY**

7.01 Any person, firm or corporation violating any of the provisions or terms of this ordinance or of the Code of Ordinances as amended hereby, shall be subject to the same penalty as provided for in the Code of Ordinances of the City of Celina, and upon conviction shall be punished by a fine not to exceed Two Thousand Dollars (\$2,000.00) for each offense.

7.02 If the governing body of the City of Celina determines that a violation of this Ordinance has occurred, the City of Celina may bring suit in district court to enjoin the person, firm, partnership, corporation, or association from engaging in the prohibited activity.

**SECTION 8**  
**CUMULATIVE REPEALER CLAUSE**

This Ordinance shall be cumulative of all other Ordinances and shall not repeal any of the provisions of such Ordinances except for those instances where there are direct conflicts with the provisions of this Ordinance. Ordinances, or parts thereof, in force at the time this Ordinance shall take effect and that are inconsistent with this Ordinance are hereby repealed to the extent that they are inconsistent with this Ordinance. Provided however, that any complaint, action, claim or lawsuit which has been initiated or has arisen under or pursuant to such other Ordinances on this date of adoption of this Ordinance shall continue to be governed by the provisions of such Ordinance and for that purpose the Ordinance shall remain in full force and effect.

**SECTION 9**  
**SAVINGS CLAUSE**

All rights and remedies of the City of Celina, Texas are expressly saved as to any and all violations of the provisions of any other ordinance affecting zoning regulation which have secured at the time of the effective date of this ordinance; and, as to such accrued violations and all pending litigation, both civil and criminal, whether pending in court or not, under such ordinances same shall not be affected by this Ordinance but may be prosecuted until final disposition by the court.

**SECTION 10**  
**SEVERABILITY**

The provisions of the Ordinance are severable. However, in the event this Ordinance or any procedure provided in this Ordinance becomes unlawful, or is declared or determined by a judicial, administrative or legislative authority exercising its jurisdiction to be excessive, unenforceable, void, illegal or otherwise inapplicable, in whole or in part, the remaining and lawful provisions shall be of full force and effect and the City shall promptly promulgate new revised provisions in compliance with the authority's decisions or enactment.

**SECTION 11**  
**PUBLICATION CLAUSE**

The City Secretary of the City of Celina is hereby directed to publish in the Official Newspaper of the City of Celina the Caption, and Effective Date of this Ordinance as required by Section 52.013 of the Local Government Code.

**SECTION 12**  
**ENGROSSMENT AND ENROLLMENT**

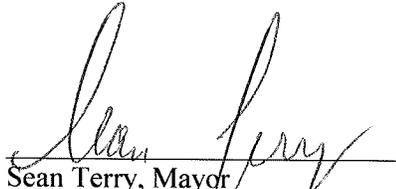
The City Secretary is hereby directed to engross and enroll this Ordinance by copying the descriptive Caption in the minutes of the City Council and by filing this Ordinance in the Ordinance records of the City.

**SECTION 13**  
**EFFECTIVE DATE**

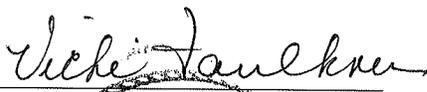
This Ordinance shall become effective from and after its date of passage and publication as required by law.

**AND IT IS SO ORDAINED.**

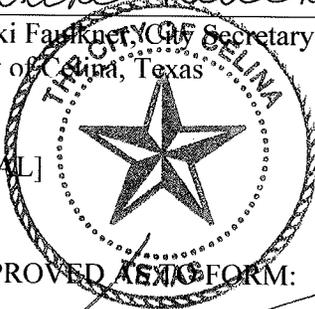
**PASSED AND APPROVED** by the City Council of the City of Celina, Texas this 7<sup>th</sup> day of December, 2015.

  
Sean Terry, Mayor  
City of Celina, Texas

ATTEST:

  
Vicki Faulkner, City Secretary  
City of Celina, Texas

[SEAL]



APPROVED ~~TEXAS~~ FORM:

  
City Attorney  
City of Celina, Texas

**Exhibit A**  
**Property Description**

(400.5 Acres)

BEING a tract of land situated in the W. Wilhite Survey, Abstract No. 1002 and the Jonathan Westoven Survey, Abstract No. 1030, Collin County, Texas, being all of a called 18.531 acre tract of land described in a Special Warranty Deed to The George White Limited Partnership recorded in Volume 5834, page 478, all of a called 127.069 acre tract of land and a called 26.99 acre tract of land described in a Special Warranty Deed to The George White Limited Partnership recorded in Volume 5834, page 461, and all of a called 214.659 acre tract of land described in Special Warranty Deeds to The George White Limited Partnership recorded in Volume 5834, page 483, Volume 5834, Page 488, Volume 5834, Page 493, Volume 5834, Page 498, Volume 5834, Page 503 and Volume 5946, Page 693, all of the Official Public Records of Real Property of Collin County, Texas, and being more particularly described as follows:

BEGINNING at a PK nail set at the intersection of County Road No. 84, County Road No. 83 and Quail Hollow; said point being the southwest corner of a tract of land described in General Warranty Deed to William K. Wood and Kathy D. Wood recorded in Instrument No. 20071029001470070, Official Public Records of Collin County, Texas; from said point a PK nail found bears North 54°13' East, a distance of 13.4 feet, a PK nail with yellow washer bears North 89°09' East, a distance of 13.7 feet, a 1/2" iron rod found bears North 48°25' West, a distance of 41.2 feet, a 1/2" iron rod found bears South 53°06' West, a distance of 37.0 feet;

THENCE North 89°09'29" East, along the south line of said Wood tract and generally along said County Road No. 84, at a distance of 360.27 feet, passing a PK nail with white washer found, at a distance of 702.60 feet, passing a PK nail with white washer found, at a distance of 1045.10 feet, passing a PK nail with white washer found, in all a total distance of 1387.45 feet to a PK nail with yellow washer found for corner at the intersection of said County Road No. 84 and County Road No. 86; said point being the southeast corner of said Wood tract and the southwest corner of a tract of land described in Special Warranty Deed to Christopher Wesson Bosh and Adrienne Bosh recorded in Instrument No. 20131001001373380, Official Public Records of Real Property of Collin County, Texas; from said point a PK nail with white washer found bears North 15°18' West, a distance of 4.3 feet;

THENCE North 89°05'03" East, along the south line of said Bosh tract and generally along said County Road No. 84, a distance of 1270.15 feet to a PK nail found for corner at the southeast corner of said Bosh tract and the southwest corner of a tract of land described in Warranty Deed to Donald L. Vest recorded in Volume 1344, Page 88 of the Deed Records of Collin County, Texas;

THENCE North 89°04'33" East, along the south line of said Vest tract and generally along said County Road No. 84, a distance of 580.02 feet to a 5/8" iron rod with "KHA" cap set for corner at the southeast corner of said Vest tract; said point being in the west right-of-way line of said County Road No. 84;

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THENCE along said west right-of-way line of County Road No. 84, the following courses and distances:

South 00°08'06" East, a distance of 3039.07 feet to a PK nail set for corner; from said point a 1/2" iron rod found bears South 89°24' East, a distance of 30.0 feet;

South 00°07'47" East, a distance of 2245.96 feet to a PK nail set for corner in the north right-of-way line of F.M. 1461 (a variable width right-of-way, 90 feet wide at this point); from said point a 1/2" iron rod with "RPLS 4084" cap bears North 89°46'00" East, a distance of 40.00 feet;

THENCE along the said north right-of-way line of F.M. 1461, the following courses and distances:

South 89°46'00" West, a distance of 2338.62 feet (Deed calls 2329.27 feet) to a 5/8" iron rod with "KHA" cap set at a re-entrant corner;

North 00°14'00" West, a distance of 10.00 feet to a 5/8" iron rod with "KHA" cap set at a re-entrant corner;

South 89°46'00" West, a distance of 878.58 feet (Deed calls 877.70 feet) to a 5/8" iron rod with "KHA" cap set for corner at the southernmost end of a right-of-way corner clip at the intersection of the said north right-of-way line of F.M. 1461 and County Road No. 83;

THENCE North 45°38'30" West, along said right-of-way corner clip, a distance of 128.18 feet (Deed calls 163.70 feet) to a 5/8" iron rod with "KHA" cap set for corner at the northernmost end of said right-of-way corner clip;

THENCE South 89°46'00" West, along the north right-of-way line of said F.M. 1461, a distance of 45.00 feet (Deed calls 35.93 feet) to a PK nail set for corner in said County Road No. 83 at the easternmost southeast corner of a tract of land described in Special Warranty Deed to 1461 Coit, Inc. recorded in Clerk's File No. 93-0113804, Official Public Records of Real Property of Collin County, Texas;

THENCE North 00°57'08" West, departing the north right-of-way line of F.M. 1461, along the east line of said 1461 Coit, Inc. tract and generally along said County Road No. 83, at a distance of 1125.29 feet, passing the northeast corner of said 1461 Coit, Inc. tract, continuing along the east right-of-way line of said County Road No. 83, in all a total distance of 3170.10 feet to a 1" iron rod found for corner in the south line of Lot 8, Block A, Preston Hills II Addition, an addition to Collin County, according to the plat recorded in Cabinet F, Page 678, Map Records of Collin County, Texas;

THENCE North 89°11'16" East, along the south line of said Lot 8, at a distance of 11.59 feet, passing the southernmost southeast corner of said Lot 8 and the west right-of-way line of said County Road No. 83, continuing along the south right-of-way line of said County Road No. 83,

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in all a total distance of 197.43 feet (Deed calls 178.2 feet) to a 5/8" iron rod with "KHA" cap set for corner; from said point a 1" iron pipe found bears North 88°40' East, a distance of 8.5 feet;

THENCE along the east right-of-way line of said County Road No. 83, the following courses and distances:

North 01°09'33" West, a distance of 1044.51 feet to a PK nail set at an angle point;

North 01°10'48" West, a distance of 932.07 feet to the POINT OF BEGINNING and containing 400.524 acres (17,446,820 square feet) of land, more or less.

Bearing system of this survey is based on the Texas State Plane Coordinate System, North American Datum of 1983, North Central Zone 4202.

**Exhibit A-1**  
**Metes and Bounds Description of Each Area Shown on the Concept Plan**

**Description of Area A:**

BEING, a tract of land situated in the Jonathan Westover Survey, Abstract No. 1030, Collin County, Texas, and being a portion of two tracts of land as described in instrument to The George White Family, as recorded in County Clerk's File No. 2005-005695 and 2005-005703 of the Official Property Records of Collin County, Texas, and being more particularly described as follows:

BEGINNING at a PK nail found the southeast corner of The George White Family tract as recorded in County Clerk's File No. 2005-005703, said corner being in the north right-of-way line of F.M. 1461 and the approximate centerline of County Road No. 84;

THENCE, South 89 degrees 46 minutes 00 seconds West along the north right-of-way line of F.M. 1461, a distance of 350.00 feet to a 5/8 inch iron rod set with plastic cap stamped "Huitt-Zollars";

THENCE, departing the north right-of-way line of F.M. 1461 North 00 degrees 07 minutes 47 seconds West, a distance of 2,246.56 feet to a 5/8 inch iron rod set with plastic cap stamped "Huitt-Zollars";

THENCE, North 00 degrees 08 minutes 06 seconds West a distance of 3,034.25 feet to a PK nail set in the north line of the George White Family tract as recorded in County Clerk's File No. 2005-005695, and being in the approximate centerline of County Road No. 84;

THENCE, North 89 degrees 04 minutes 33 seconds East along the north line of the last mentioned George White Family tract and the approximate centerline of County Road No. 84, a distance of 350.03 feet to a 5/8 inch iron rod found with plastic cap stamped "KHA" at the northeast corner of the last mentioned George White Family tract;

THENCE, South 00 degrees 08 minutes 06 seconds East along the east line of the George White Family tracts and the approximate centerline of County Road No. 84, a distance of 3,039.07 feet to a PK nail found;

THENCE, South 00 degrees 07 minutes 47 seconds East continuing along the east line of the George White Family tract as recorded in County Clerk's File No. 2005-005703 and the approximate centerline of County Road No. 84, a distance of 2,245.96 feet to the POINT OF BEGINNING and CONTAINING 42.45 acres of land, more or less.

All bearings are based on the Texas State Plane Coordinate System, N.A.D. 83, North Central Zone.

**Description of Area B:**

BEING, a tract of land situated in the Jonathan Westover Survey, Abstract No. 1030 and the William Wilhite Survey, Abstract No. 1002, Collin County, Texas, and being a portion of two tracts of land as described in instrument to The George White Family, as recorded in County Clerk's File No. 2005-005695 and 2005-005703 of the Official Property Records of Collin County, Texas, and being more particularly described as follows:

COMMENCING at a PK nail found at the most westerly southwest corner of The George White Family tract as recorded in No. 2005-005703, said corner being in the north right-of-way line of F.M. 1461 and the approximate centerline of County Road No. 83;

THENCE, North 00 degrees 57 minutes 08 seconds West along the west line of last mentioned George White Family tract, a distance of 840.92 feet to a PK nail set at the POINT OF BEGINNING;

THENCE, North 00 degrees 57 minutes 08 seconds West continuing along the west line of last mentioned George White Family tract, a distance of 193.16 feet to a PK nail set at the beginning of a curve to the right having a central angle of 20 degrees 28 minutes 22 seconds, with a radius of 1,200.00 feet, a chord bearing of North 09 degrees 17 minutes 05 seconds East, a chord length of 426.50 feet;

THENCE, along said curve to the right an arc length of 428.78 feet to a 5/8" iron rod set with plastic cap stamped "Huitt-Zollars";

THENCE, North 19 degrees 31 minutes 16 seconds East a distance of 3,938.75 feet to a PK nail set in the north line of the George White Family tract as recorded in No. 2005-005695, and being in the approximate centerline of County Road No. 84;

THENCE, North 89 degrees 09 minutes 29 seconds East along the north line of the last mentioned George White Family tract and the approximate centerline of County Road No. 84, a distance of 123.94 feet to a PK nail found;

THENCE, North 89 degrees 05 minutes 03 seconds East continuing along the north line of the last mentioned George White Family tract and the approximate centerline of County Road No. 84, a distance of 1,270.15 feet to a PK nail found;

THENCE, North 89 degrees 04 minutes 33 seconds East continuing along the north line of the last mentioned George White Family tract and the approximate centerline of County Road No. 84, a distance of 229.98 feet to a PK nail set;

THENCE, departing the north line of the last mentioned George White Family tract and the approximate centerline of County Road No. 84, South 00 degrees 08 minutes 06 seconds East a distance of 3,034.25 feet to a 5/8 inch iron rod set with plastic cap stamped "Huitt-Zollars";

THENCE, South 00 degrees 07 minutes 47 seconds East a distance of 2,246.56 feet to a 5/8 inch iron rod set with plastic cap stamped "Huitt-Zollars" in the said north right-of-way line of F.M. 1461;

THENCE, South 89 degrees 46 minutes 00 seconds West along the north right-of-way line of F.M. 1461, a distance of 1,866.14 feet to a 5/8 inch iron rod set with plastic cap stamped "Huitt-Zollars";

THENCE, departing the north right-of-way line of F.M. 1461 North 00 degrees 39 minutes 56 seconds East, a distance of 939.15 feet to a 5/8 inch iron rod set with plastic cap stamped "Huitt-Zollars";

THENCE, South 89 degrees 51 minutes 22 seconds West a distance of 1,162.63 feet to the POINT OF BEGINNING and CONTAINING 277.4 acres of land, more or less.

All bearings are based on the Texas State Plane Coordinate System, N.A.D. 83, North Central Zone.

**Description of Area C:**

BEING, a tract of land situated in the William Wilhite Survey, Abstract No. 1002, Collin County, Texas, and being a tract of land as described in instrument to The George White Family, as recorded in County Clerk's File No. 2005-005695 of the Official Property Records of Collin County, Texas, and being more particularly described as follows:

COMMENCING at a PK nail found at the northwest corner of a called 18.551 acre tract of land as described in instrument to The George White Family tract as recorded in No. 2005-005698, said corner being in the intersection of the centerline of County Road No. 83 with the centerline of County Road No. 84;

THENCE, North 89 degrees 09 minutes 29 seconds East with the approximate centerline of County Road No. 84, a distance of 320.01 feet to a PK nail set at the POINT OF BEGINNING and being the northwest corner of said George White Family as recorded in County Clerk's File No. 2005-005695;

THENCE, North 89 degrees 09 minutes 29 seconds East along the north line of the last mentioned George White Family tract and the approximate centerline of County Road No. 84, a distance of 943.51 feet to a PK nail set;

THENCE, departing the north line of the last mentioned George White Family tract and the approximate centerline of County Road No. 84, South 19 degrees 31 minutes 16 seconds West a distance of 1,857.40 feet to a 5/8 inch iron rod set with plastic cap stamped "Huitt-Zollars";

THENCE, North 89 degrees 59 minutes 55 seconds West a distance of 287.27 feet to a 5/8 inch iron rod set with plastic cap stamped "Huitt-Zollars" in the west line of the last mentioned George White Family tract;

THENCE, North 01 degree 09 minutes 33 seconds West along the west line of the last mentioned George White Family tract, a distance of 806.82 feet to a 5/8 inch iron rod set with plastic cap stamped "Huitt-Zollars";

THENCE, North 01 degrees 10 minutes 48 seconds West continuing along the west line of the last mentioned George White Family tract a distance of 930.30 feet to the POINT OF BEGINNING and CONTAINING 24.58 acres of land, more or less.

All bearings are based on the Texas State Plane Coordinate System, N.A.D. 83, North Central Zone.

**Description of Area D:**

BEING, a tract of land situated in the William Wilhite Survey, Abstract No. 1002, Collin County, Texas, and being a tract of land as described in instrument to The George White Family, as recorded in County Clerk's File No. 2005-005698 of the Official Property Records of Collin County, Texas, and being more particularly described as follows:

BEGINNING at a PK nail found at the northwest corner of the George White Family tract, said corner being in the intersection of the centerline of County Road No. 83 with the centerline of County Road No. 84;

THENCE, North 89 degrees 09 minutes 29 seconds East along the north line of the George White Family tract with the approximate centerline of County Road No. 84, a distance of 320.01 feet to a PK nail set;

THENCE, departing the north line of the George White Family tract and the approximate centerline of County Road No. 84, South 01 degree 10 minutes 48 seconds East, a distance of 930.30 feet to a 5/8 inch iron rod set with plastic cap stamped "Huitt-Zollars";

THENCE, South 01 degree 09 minutes 33 seconds East a distance of 806.82 feet to a 5/8 inch iron rod set with plastic cap stamped "Huitt-Zollars";

THENCE, North 89 degrees 59 minutes 55 seconds West a distance of 320.07 feet to a PK nail set in the west line of the George White Family tract and being in the approximate centerline of the centerline of County Road No. 83;

THENCE, North 01 degree 09 minutes 33 seconds West along the west line of the George White Family tract and the approximate centerline of the centerline of County Road No. 83, a distance of 800.34 feet to a PK nail found;

THENCE, North 01 degrees 10 minutes 48 seconds West continuing along the west line of the George White Family tract a distance of 932.07 feet to the POINT OF BEGINNING and CONTAINING 12.74 acres of land, more or less.

All bearings are based on the Texas State Plane Coordinate System, N.A.D. 83, North Central Zone.

**Description of Area E:**

BEING, a tract of land situated in the Jonathan Westover Survey, Abstract No. 1030 and the William Wilhite Survey, Abstract No. 1002, Collin County, Texas, and being a portion of three tracts of land as described in instrument to The George White Family, as recorded in County Clerk's File No. 2005-005695, 2005-005698 and 2005-005703 of the Official Property Records of Collin County, Texas, and being more particularly described as follows:

COMMENCING at a PK nail found at the most westerly southwest corner of The George White Family tract as recorded in No. 2005-005703, said corner being in the north right-of-way line of F.M. 1461 and the approximate centerline of County Road No. 83;

THENCE, North 00 degrees 57 minutes 08 seconds West along the west line of last mentioned George White Family tract, a distance of 1,034.09 feet to a PK nail set at the POINT OF BEGINNING;

THENCE, North 00 degrees 57 minutes 08 seconds West continuing along the west line of last mentioned George White Family tract and along the west line of the George White Family tract as recorded in No. 2005-5695, a distance of 2,136.01 feet to a one-inch iron rod found at the most westerly northwest corner of the last mentioned George White Family tract;

THENCE, North 89 degrees 11 minutes 16 seconds East a north line of last mentioned George White Family tract, a distance of 197.43 feet to a 5/8 inch iron rod set with plastic cap stamped "Huitt-Zollars" at the southwest corner of the George White Family tract as recorded in No. 2005-5698;

THENCE, North 01 degree 09 minutes 33 seconds West along the west line of the last mentioned George White Family tract a distance of 244.17 feet to a PK nail set;

THENCE, departing the west line of the last mentioned George White Family tract South 89 degrees 59 minutes 55 seconds East a distance of 607.32 feet to a 5/8 inch iron rod set with plastic cap stamped "Huitt-Zollars";

THENCE, South 19 degrees 31 minutes 16 seconds West a distance of 2,081.35 feet to a 5/8 inch iron rod set with plastic cap stamped "Huitt-Zollars" at the beginning of a curve to the left having a central angle of 20 degrees 28 minutes 22 seconds, a radius of 1,200.00 feet, a chord bearing of South 09 degrees 17 minutes 05 seconds West, a chord length of 426.50 feet;

THENCE, along said curve to the left an arc length of 428.78 feet to the POINT OF BEGINNING and CONTAINING 18.94 acres of land, more or less.

**Description of Area F:**

BEING, a 24.38 acre tract of land situated in the Jonathan Westover Survey, Abstract No. 1030, Collin County, Texas, and being a portion of a tract of land as described in instrument to The

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George White Family, as recorded in County Clerk's File No. 2005-005703 of the Official Property Records of Collin County, Texas, and being more particularly described as follows:

BEGINNING at a PK nail found the most westerly southwest corner of The George White Family tract, said corner being in the north right-of-way line of F.M. 1461 and the approximate centerline of County Road No. 83;

THENCE, North 00 degrees 57 minutes 08 seconds West along the west line of The George White Family tract, a distance of 840.93 feet to a 5/8 inch iron rod set with plastic cap stamped "Huitt-Zollars";

THENCE, departing The George White Family tract, North 89 degrees 51 minutes 22 seconds East a distance of 1,162.63 feet to a 5/8 inch iron rod set with plastic cap stamped "Huitt-Zollars";

THENCE, South 00 degrees 39 minutes 56 seconds West a distance of 939.15 feet to a 5/8 inch iron rod set with plastic cap stamped "Huitt-Zollars" in the north right-of-way line of F.M. 1461;

THENCE, along the north right-of-way line of F.M. 1461 the following courses and distances:

South 89 degrees 46 minutes 00 seconds West a distance of 122.48 feet to a 5/8 inch iron rod set with plastic cap stamped "Huitt-Zollars";

North 00 degrees 14 minutes 00 seconds West a distance of 10.00 feet to a 5/8 inch iron rod found;

South 89 degrees 46 minutes 00 seconds West a distance of 878.58 feet to a 5/8 inch iron rod found;

North 45 degrees 38 minutes 30 seconds West a distance of 128.18 feet to a 5/8 inch iron rod found;

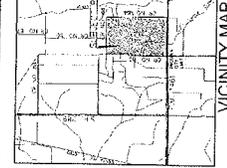
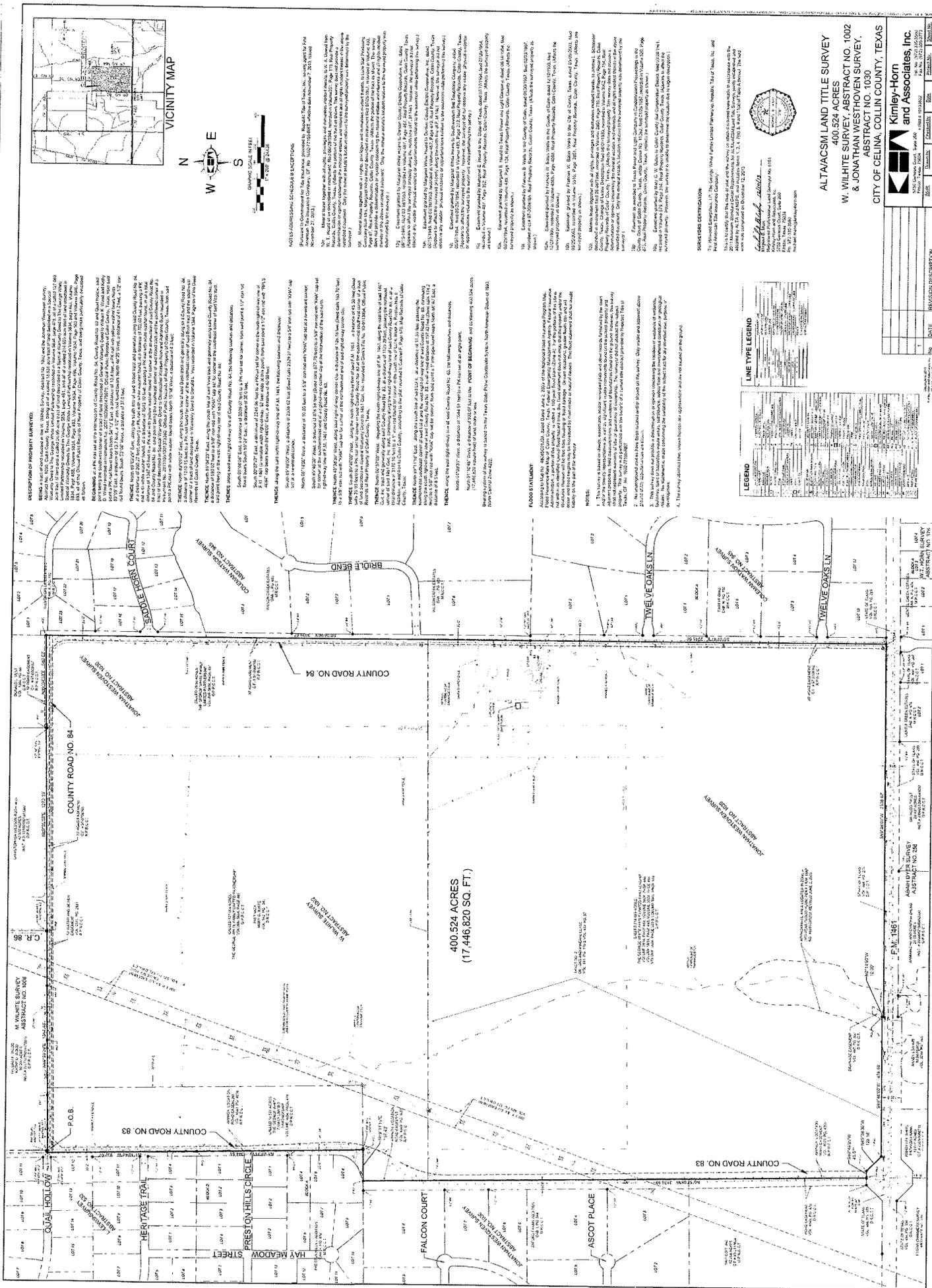
South 89 degrees 46 minutes 00 seconds West a distance of 45.00 feet to the POINT OF BEGINNING and CONTAINING and 24.38 acres of land, more or less.

**Exhibit B**  
**Map of Property**

1560.01748878 v5

Exhibit B – Page 1

The Wells South Tract  
Planned Development District



**NOTES TO CONTRACTOR FOR THIS SURVEY:**

1. The survey was conducted in accordance with the provisions of the Texas Surveying Act, Chapter 131, Texas Occupations Code, and the rules and regulations of the State Board of Surveying.
2. The survey was conducted in accordance with the provisions of the Texas Surveying Act, Chapter 131, Texas Occupations Code, and the rules and regulations of the State Board of Surveying.
3. The survey was conducted in accordance with the provisions of the Texas Surveying Act, Chapter 131, Texas Occupations Code, and the rules and regulations of the State Board of Surveying.
4. The survey was conducted in accordance with the provisions of the Texas Surveying Act, Chapter 131, Texas Occupations Code, and the rules and regulations of the State Board of Surveying.
5. The survey was conducted in accordance with the provisions of the Texas Surveying Act, Chapter 131, Texas Occupations Code, and the rules and regulations of the State Board of Surveying.
6. The survey was conducted in accordance with the provisions of the Texas Surveying Act, Chapter 131, Texas Occupations Code, and the rules and regulations of the State Board of Surveying.
7. The survey was conducted in accordance with the provisions of the Texas Surveying Act, Chapter 131, Texas Occupations Code, and the rules and regulations of the State Board of Surveying.
8. The survey was conducted in accordance with the provisions of the Texas Surveying Act, Chapter 131, Texas Occupations Code, and the rules and regulations of the State Board of Surveying.
9. The survey was conducted in accordance with the provisions of the Texas Surveying Act, Chapter 131, Texas Occupations Code, and the rules and regulations of the State Board of Surveying.
10. The survey was conducted in accordance with the provisions of the Texas Surveying Act, Chapter 131, Texas Occupations Code, and the rules and regulations of the State Board of Surveying.

**DESCRIPTIONS OF PROPERTY SURVEYS:**

**TRACT 1:** [Detailed description of Tract 1, including acreage and survey details.]

**TRACT 2:** [Detailed description of Tract 2, including acreage and survey details.]

**TRACT 3:** [Detailed description of Tract 3, including acreage and survey details.]

**TRACT 4:** [Detailed description of Tract 4, including acreage and survey details.]

**TRACT 5:** [Detailed description of Tract 5, including acreage and survey details.]

**TRACT 6:** [Detailed description of Tract 6, including acreage and survey details.]

**TRACT 7:** [Detailed description of Tract 7, including acreage and survey details.]

**TRACT 8:** [Detailed description of Tract 8, including acreage and survey details.]

**TRACT 9:** [Detailed description of Tract 9, including acreage and survey details.]

**TRACT 10:** [Detailed description of Tract 10, including acreage and survey details.]

**ACKNOWLEDGMENT:**

I, the undersigned, being the owner of the land described in the foregoing survey, do hereby certify that the same is a true and correct copy of the original survey as the same appears on the records of the County Clerk of this County, Texas.

\_\_\_\_\_  
 [Signature]

**DEED STATEMENT:**

Witness my hand and seal of office this 1st day of [Month], 2024, at [City], Texas.

\_\_\_\_\_  
 [Signature]

**LEGEND**

LINE TYPE	DESCRIPTION
---	Survey Boundary
---	Property Boundary
---	Right-of-Way Boundary
---	Water Boundary
---	Other Boundary

**REVISION DESCRIPTION**

NO.	DATE	REVISION DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

**ALTAACSM LAND TITLE SURVEY**  
 400.524 ACRES  
 W. WILHITE SURVEY, ABSTRACT NO. 1002  
 & JONATHAN WESTHOVEN SURVEY,  
 ABSTRACT NO. 1030  
 CITY OF CELINA, COLLIN COUNTY, TEXAS

**Kimley-Horn and Associates, Inc.**  
 1000 West Loop South, Suite 400  
 Irving, Texas 75039  
 Phone: 972.261.1000  
 Fax: 972.261.1001  
 Email: kha@kimley-horn.com

**Supervisor Certification:**  
 I, the undersigned, being the duly qualified and licensed Surveyor in Charge of this Survey, do hereby certify that the same is a true and correct copy of the original survey as the same appears on the records of the County Clerk of this County, Texas.

\_\_\_\_\_  
 [Signature]

**Exhibit C**  
**Concept Plan**

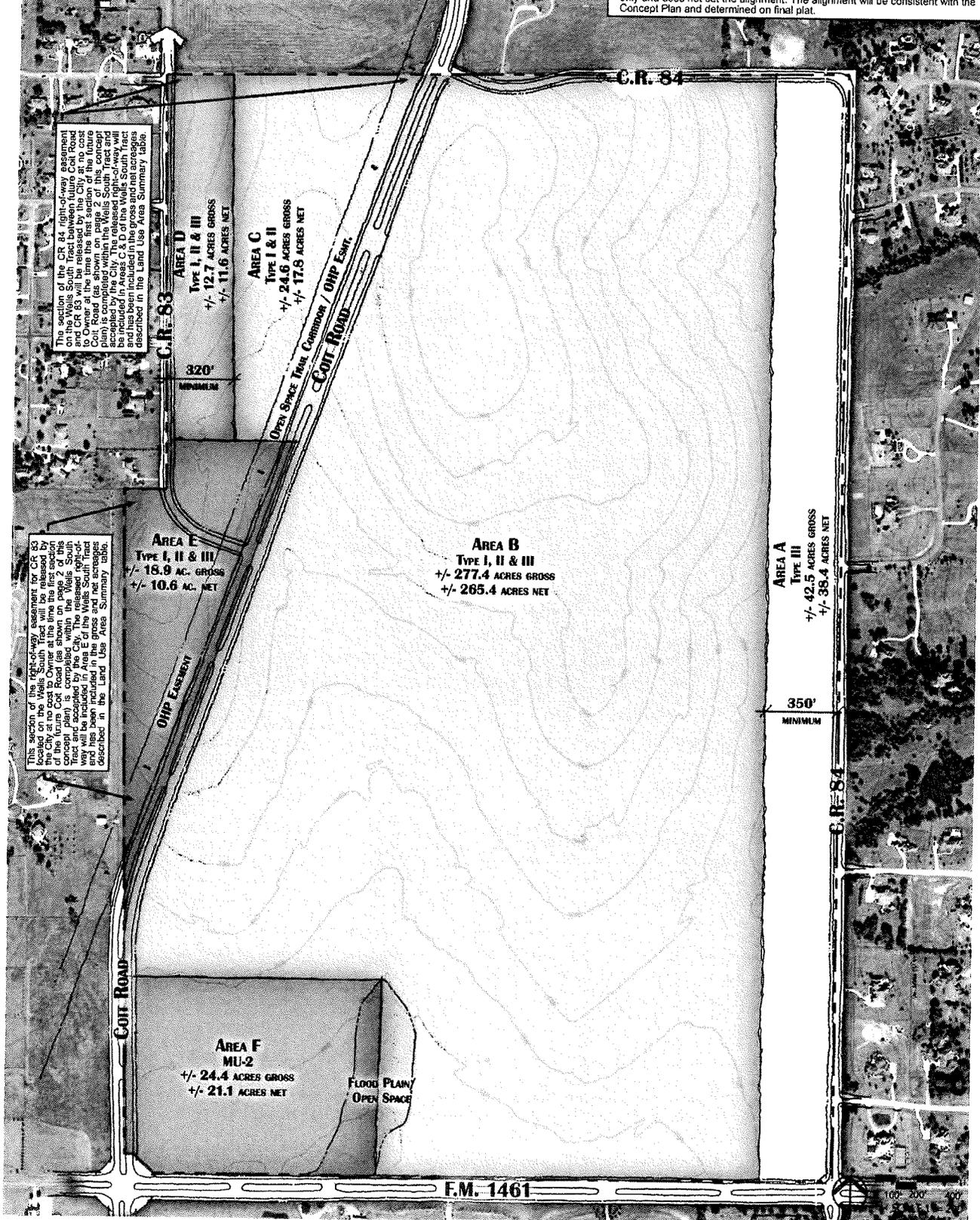
**LAND USE AREA SUMMARY:**

ZONING AREA	GROSS ACRES	LAND USE GROSS ACRES	NET ACRES	LAND USE NET ACRES
Area A	+/- 42.5	Single-Family +/- 376.1 ac.	+/- 38.4	Single-Family +/- 343.8 ac.
Area B	+/- 277.4		+/- 265.4	
Area C	+/- 24.6		+/- 17.8	
Area D	+/- 12.7		+/- 11.6	
Area E	+/- 18.9		+/- 10.6	
Area F	+/- 24.4		MU +/- 24.4 ac.	
<b>Total</b>	<b>+/- 400.5</b>	<b>+/- 400.5</b>	<b>+/- 364.9</b>	<b>+/- 364.9</b>

**SINGLE-FAMILY RESIDENTIAL SUMMARY FOR AREAS A, B, C, D AND E:**

LAND USE PRODUCT TYPE	MINIMUM LOT WIDTH	NET ACRES	ALLOWED % OF UNITS	DENSITY
Type I	50 feet	+/- 305.4	50% max.	3.9 du/ac
Type II	60 feet		30% min.	
Type III	70 feet	+/- 38.4	20% min.	
<b>Total Maximum Dwelling Units = 1,351</b>				

**GENERAL NOTES:**  
 \*The thoroughfare alignment(s) shown on this exhibit are for illustration purposes only and does not set the alignment. The alignment will be consistent with the Concept Plan and determined on final plat.



This section of the right-of-way easement for CR 84 (right-of-way easement) on the Wells South Tract between future Coit Road and CR 83 will be released by the City at no cost to the City. The City will retain the right-of-way easement for CR 84 (as shown on page 2 of this Concept Plan) is completed within the Wells South Tract and will be included in Area C & D. The right-of-way easement and has been included in the gross and net acreages described in the Land Use Area Summary table.

This section of the right-of-way easement for CR 83 (right-of-way easement) on the Wells South Tract between future Coit Road and CR 84 will be released by the City at no cost to the City. The City will retain the right-of-way easement for CR 83 (as shown on page 2 of this Concept Plan) is completed within the Wells South Tract and will be included in Area E of the Wells South Tract and has been included in the gross and net acreages described in the Land Use Area Summary table.

**WELLS SOUTH TRACT / Concept Plan**

Celina, TX September 09, 2015

The information shown is based on the best information available and is subject to change without notice.

HILLWOOD COMMUNITIES  
 Live Smart

TBG James Kropp

C.R. 83

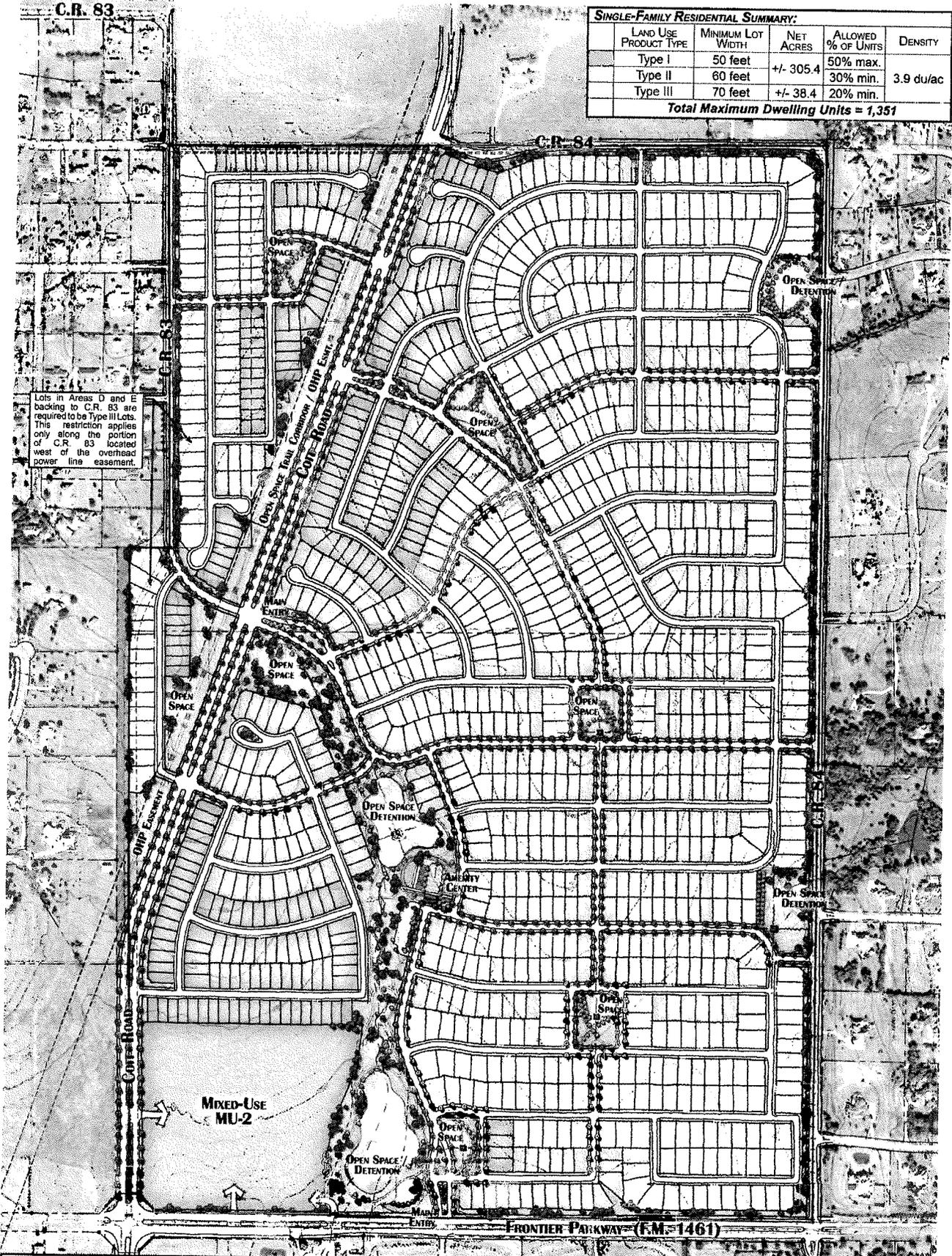
**SINGLE-FAMILY RESIDENTIAL SUMMARY:**

LAND USE PRODUCT TYPE	MINIMUM LOT WIDTH	NET ACRES	ALLOWED % OF UNITS	DENSITY
Type I	50 feet	+/- 305.4	50% max.	3.9 du/ac
Type II	60 feet		30% min.	
Type III	70 feet	+/- 38.4	20% min.	

**Total Maximum Dwelling Units = 1,351**

C.R. 84

Lots in Areas D and E backing to C.R. 83 are required to be Type III Lots. This restriction applies only along the portion of C.R. 83 located west of the overhead power line easement.



**GENERAL NOTES:**

- Contour Interval = one foot (1')
- The thoroughfare alignment(s) shown on this exhibit are for illustration purposes only and does not set the alignment. The alignment will be consistent with the Concept Plan and determined on final plat.
- The following information on the Concept Plan is informational only and subject to change by the Owner: the lot layout, the location of different single family product types, the street layout, points of ingress and egress, and the location, size, shapes, and configuration of open space.

**WELLS SOUTH TRACT / Concept Plan**

Celina, TX September 09, 2015

The information shown is based on the best information available and is subject to change without notice.

**HILLWOOD**  
COMMUNITIES  
Live Smart

**TBG**  
Lynes  
Knappe

**Exhibit D**  
**Development Regulations**

The following shall constitute the Wells South Tract Planned Development Regulations:

1. **Purpose.** The purpose and intent of these Development Regulations is to create a unique and well-designed master planned community to preserve natural features, open space, and other topographical features of the land. The community will be a walkable environment where the amenities will consist of long, contiguous open space greenways with hike and bike trails that connect the entire community and promote connectivity of the community to the City of Celina. The project will promote a sense of community, environmental stewardship, and healthy living, embrace new technology, and attempt to educate its residences through the project's design and planning principles.
2. **Definitions.** All terms used in this Ordinance shall be defined as stated in the Zoning Ordinance, as applicable, except as follows:
  - a. Concept Plan means the drawing attached as **Exhibit C** to this Ordinance, as amended from time to time in accordance with Section 3.02 of the Development Agreement.
  - b. Development Agreement means the development agreement between the City of Celina and the George White Family Limited Partnership effective April 28, 2015, as amended.
  - c. Open space means any publicly or privately owned or accessible property containing a minimum of 10,000 square feet in area and being at least 15 feet in width or 100 feet in length, with no slope greater than eight percent, exclusive of rights-of-way, that is designated as open space at the time of platting. Open space may include bodies of water, trails, landscaped or hardscaped areas, trails, and other similar features. Notwithstanding anything to the contrary, areas within the Coit Road landscape buffer (whether or not within the right-of-way) and areas within the Oncor electric easement may be counted as open space regardless of size, slope, or other factors. Typically, open space will not be individually owned, and will be for the common use or enjoyment of the residents within the Property. The City Manager may allow full or partial open space credit for areas exceeding the maximum eight percent slope if it is determined that such are environmentally or aesthetically significant and their existence enhances the development or surrounding area.
  - d. Owner means the "Owner" or "Hillwood" as defined by the Development Agreement.
  - e. Property means the property described on **Exhibit A** of this Ordinance.

- f. Required Concept Plans and Site Plans means the plans required by and described in Section 3(d).
- g. Zoning Ordinance means the comprehensive zoning ordinance of the City, as amended from time to time.

3. Applicable Regulations and Conflicts; Concept Plans and Site Plans.

- a. Development and use of the Property shall comply with this Ordinance and the Zoning Ordinance. In the event of a conflict between this Ordinance and the Zoning Ordinance, this Ordinance controls. Areas A through E, as shown on the Concept Plan and more particularly described on Exhibit A-1, shall be governed by the SF-R residential zoning district in the Zoning Ordinance, as amended by this Exhibit D. Area F, as shown on the Concept Plan and more particularly described on Exhibit A-1, shall be governed, as determined by the developer at the time of platting, by either SF-R or MU-2, as amended by this Exhibit D.
- b. The Concept Plan is a conceptual plan that illustrates how the Property could be developed with single family uses. The following information on the Concept Plan is informational only and subject to change by the Owner: the lot layout, the location of different single family product types, the street layout, points of ingress and egress, and the location, size, shapes, and configuration of open space. Revisions other than the foregoing revisions to the Concept Plan may be made in accordance with Section 3(c).
- c. The Concept Plan (but not the total lot count) may be revised, from time to time, with only the approval of the City's staff, which approval shall not be unreasonably withheld, conditioned or delayed, if:
  - i. the revision is approved, in writing, by the owners of all the property within the tracts being revised;
  - ii. the revision is approved, in writing, by the Owner;
  - iii. a revised Concept Plan is submitted to the City's staff concurrently with the submission of any preliminary plat covering any portion of the property subject to the change;
  - iv. the cumulative effect of all revisions does not change the net acreage within any tract by more than 10% (based on the tracts as they are shown on the Concept Plan); and
  - v. the maximum lot count of 1,351 single family living units in Areas A through E, as identified on the Concept Plan is not increased.

Nothing in this Section 3(c) shall eliminate the requirement for the Required Concept Plans and Site Plans for non-single family development within Area F to

be approved in accordance with Section 3(d), and this Section 3(c) shall not apply to such plans. City Council approval is required for all other revisions to the Concept Plan. If the Concept Plan is revised as provided by this section, the revision shall be considered an amendment to this PD, and the City shall cause the revised Concept Plan to be attached to the official version of the PD on file with the City.

- d. Prior to the development of portions of the Property located in Area F, a concept plan and site plan for each non-single family project within that area must be approved in accordance with Division 7 of the Zoning Ordinance in effect on April 28, 2015 (the "Required Concept Plans and Site Plans"), except as follows:
  - i. No concept plan or site plan other than the Concept Plan shall be required in connection with the PD zoning of the Property upon annexation. The Required Concept Plans and Site Plans for Area F shall be required only as a condition to the issuance of a building permit. Required Concept Plans and Site Plans are not required for single family detached or attached development, including amenities, at any location within the Property.
  - ii. The Required Concept Plans and Site Plans for Area F may be submitted and approved on a project by project basis. No particular phasing is required, and no development schedule shall be required.
  - iii. The Division 7 process for approving the Required Concept Plans and Site Plans for Area F may not be used to require conditions that conflict with or are inconsistent with the terms of this **Exhibit D** or the Development Agreement.
  - iv. Consideration and approval of the Required Concept Plans and Site Plans for Area F shall be subject to the same notice and public hearing procedural requirements before the Planning and Zoning Commission and City Council that apply to any request in the City for a change of zoning. Section 14.02.226 of the Zoning Ordinance shall not apply, and the City shall not be authorized to require additional studies or information described in that section in connection with an application under this Section 3(d).

#### 4. General Regulations.

- a. All single family detached and attached residences may have front entry garages and direct access from a dedicated public street. All front entry garage doors must be in line with, or set back from, the front facade of the home as shown on Attachment 1. This requirement does not apply to a j-swing garage.
- b. No particular phasing of any area shown on the Concept Plan is required.

5. Use Regulations; Cap on Residential Units. The uses permitted by this Section 5 are permitted. In addition, any residential or commercial use that is less intense than permitted uses within the designated area, as reasonably determined by the Director of Planning and Development Services, is also permitted. The uses authorized by this Section 5 are the only uses permitted on the Property.
- a. Areas A through E: SF-R single family residential district uses and the associated uses defined in Section 14.03.008 of the Zoning Ordinance on April 28, 2015 are permitted to the same extent they are permitted in the SF-R district. For example, if a use is permitted by right in the SF-R zoning district, that use is permitted by right in Areas A through E. If a use is permitted by SUP in the SF-R zoning district, that use is permitted by SUP in Areas A through E. The maximum number of residential lots in Areas A through E combined shall be 1,351. Within Areas A through E, at full build out (i) a maximum of 50 percent shall be Type I lots; (ii) a minimum of 30 percent shall be Type II lots; and (iii) a minimum of 20 percent shall be Type III lots.
  - b. Area F:
    - i. The MU-2 mixed use regional district uses identified on Attachment 2 are permitted by right.
    - ii. Single family detached homes, townhouses, and permitted non-residential uses identified on Attachment 2 are permitted by right. A minimum of five acres within Area F shall be reserved exclusively for non-residential uses as more specifically described in Section 6(d).
    - iii. Duplex uses are prohibited in Area F.
    - iv. Accessory dwellings are prohibited.
    - v. Residential uses are permitted within Area F at a density not to exceed nine dwelling units per gross acre.
6. Area Regulations. The regulations in Section 5 and this Section 6 shall serve as the exclusive regulations governing residential density (regardless of the type of residential use), as well as the following with respect to single family detached development only: lot size, width, and depth, setbacks, roof pitch, lot coverage, and minimum dwelling unit size.
- a. Single Family Detached in Areas A through F. The regulations in the table below in this Section 6 shall apply to all single family detached residential lots within the Property. In addition, single family detached homes in Area F may be developed in accordance with the patio home standards in Section 6(b). All single family detached homes within the Property (including, but not limited to, patio homes) that are on a key lot shall meet the minimum front yard setback

requirement along both street frontages. A key lot is a corner lot with a rear yard that is adjacent to the front yard of the adjoining lot.

	<b>Type I Lots</b>	<b>Type II Lots</b>	<b>Type III Lots</b>
<b>Minimum lot width</b>	50 feet	60 feet	70 feet
<b>Minimum lot depth</b>	110 feet	115 feet	115 feet
<b>Minimum lot area</b>	5,500 square feet	7,000 square feet	8,500 square feet
<b>Minimum front yard setback (applies to both streets for key lots)</b>	20 feet	20 feet generally 15 feet if the house has a j-swing garage	25 feet 15 feet if the house has a j-swing garage
<b>Minimum rear yard setback</b>	20 feet	20 feet	20 feet
<b>Minimum side yard setback</b>	5 feet generally 15 feet on corner side yards	5 feet generally 15 feet on corner side yards	7 feet generally 15 feet on corner side yards
<b>Minimum front porch setback</b>	15 feet	15 feet	20 feet
<b>Minimum primary roof pitch*</b>	6:12	8:12	8:12
<b>Maximum percentage of impervious lot cover**</b>	60 percent	60 percent	60 percent
<b>Minimum dwelling unit size (air conditioned floor area)</b>	1,600 square feet	1,800 square feet	2,000 square feet
<b>Accessory building setbacks</b>	Minimum front yard setback – 50 feet Minimum side yard setback generally – 3 feet Minimum setback for corner side yard – 15 feet Minimum rear setback – 3 feet		
<b>Minimum off-street parking requirements</b>	At a minimum, each dwelling unit shall provide: <ul style="list-style-type: none"> <li>• 2 parking spaces within an enclosed garage</li> <li>• 2 unenclosed parking spaces (which may be included within a setback area)</li> </ul>		

\*Primary roof pitch does not include roofs over architectural features or enhancements, such as porches and dormers.

\*\*Impervious lot cover limitations apply only to the footprint of an enclosed building, including enclosed garages, and excluding patios and porches (whether covered or uncovered), driveways, sidewalks, and other similar improvements that are not part of an enclosed building.

- b. Single Family Detached (Patio Homes) in Area F. Single family detached homes may be developed pursuant to the following patio home standards:
- i. Minimum front yard setback: 20 feet (applies to both streets for key lots)
  - ii. Minimum side yard setback:
    1. Zero sided option: 0 feet on one side and 10 feet on the other side, except 15 feet on corner side yards
    2. Center option: 5 feet on both sides, except 15 feet on corner side yards
  - iii. Minimum rear yard setback: 12 feet
  - iv. Minimum lot area: 5,000 square feet for a zero side option, and 6,000 square feet for a center option
  - v. Minimum lot width: 40 feet
  - vi. Minimum lot depth: 90 feet
  - vii. Minimum dwelling unit size (air conditioned floor area): 1,200 square feet
  - viii. Minimum primary roof pitch: 6:12. Primary roof pitch does not include roofs over architectural features or enhancements, such as porches and dormers.
  - ix. Maximum height and number of stories: 40 feet and 2.5 stories, subject to Section 6(f) below.
  - x. Maximum impervious lot cover: 55 percent. Impervious lot cover limitations apply only to the footprint of an enclosed building, including enclosed garages, and excluding patios and porches (whether covered or uncovered), driveways, sidewalks, and other similar improvements that are not part of an enclosed building.
  - xi. Accessory building setbacks: same requirements that apply to Type I, II, and III lots
  - xii. Minimum off-street parking: same requirements that apply to Type I, II, and III lots
- c. Townhouses in Area F. Within Area F, townhouses shall be developed in accordance with the height regulations and area regulations of the TH zoning district set forth in Section 14.03.017 of the Zoning Ordinance.

- d. Nonresidential in Area F. Within Area F, nonresidential uses shall be developed in accordance with the perimeter setback regulations and lot regulations of the MU-2 zoning district set forth in Section 14.03.006(a)-(d) of the Zoning Ordinance, subject to the height limitations in Section 6(f) below. A minimum of 5 acres in Area F shall be developed as purely retail and/or office with no residential component. No other requirements in Section 14.03.006 shall apply to Area F. Nonresidential lots shall back or side to any adjacent single family residential property.
7. Building Materials. Exterior Building Facade for Residential Main Structures. Except as follows, all exterior building facades shall meet the requirements in Section 14.05.152 of the Zoning Ordinance: Single family detached residential structures (primary and accessory) shall comply with the applicable requirements in Section 14.05.152 of the Zoning Ordinance in effect on April 28, 2015, except that cementitious fiberboard may be used in the same vertical plane as the first story if it is interrupted with an intersecting roof line or another architectural element. No other building design or architectural standards shall apply to detached single family residences.
8. Screening and Landscaping Regulations. Landscaping and screening along Coit Road, CR-83, CR-84, and FM 1461 shall be provided as shown in one of the options in the conceptual drawings on Attachment 3. No landscaping or screening shall be required along the portion of the Property abutting the 60-foot wide strip of CR 83 right-of-way dedicated by the plat for the Oxford Farms Addition. All required landscaping materials shall be selected from the recommended list on Attachment 4. Internal landscaping and screening shall comply with the internal landscaping edge treatment exhibit on Attachment 3. Where trees are shown along streets, trees must average a minimum of one tree per 50 feet of street frontage, but are not required to be evenly spaced and may be clustered. Section 14.05.122 of the Zoning Ordinance shall apply only when a nonresidential use in Area F abuts any residential use adjacent to the boundary of Area F, and a minimum six foot tall solid masonry wall shall be required in that instance.
9. Open Space Regulations.
  - a. A minimum of 35 acres of open space shall be provided within the Property in general conformance with the conceptual open space and trail plan attached as Attachment 5, and all of the approximately 41 acres of open space shown on that attachment, including the proposed open space uses and improvements within such 41 acres, shall qualify for purposes of satisfying the requirement for 35 acres of open space. The size, location, shape, and number of open space areas shown on the plan is conceptual and subject to change based on the final design of lot and street layouts at the time of platting.
  - b. Area F shall incorporate at least 20 percent of open space consistent with the requirements of the MU-2 zoning district.

- c. Maintenance of open space may be funded through the public improvement district (PID) or by a homeowners association. If the maintenance of open space is funded through the PID, a homeowners association shall also be established to assume all of the PID's maintenance responsibilities under this paragraph when and if the PID is dissolved. If open space maintenance will be funded through the PID, a homeowners association shall own the open space, and a public use easement covering the open space and benefiting the City shall be recorded by separate instrument with each final plat that includes open space. When and if the PID is dissolved, the City has the sole option of terminating the easement, at which point the homeowners association that owns the open space shall have the sole responsibility for maintaining the open space.
  - d. Other than the provisions of parks or open space required by the Concept Plan and these Development Regulations, no park land dedication or construction of park improvements shall be required, and no fee related to maintenance of park improvements shall be required other than PID assessments.
  - e. This Section 9 shall serve as the exclusive open space requirement for the Property.
10. Trails and Sidewalks. Trails shall be constructed in general conformance with the conceptual open space and trail plan attached as Attachment 5. The exact location of trails shown on the plan is conceptual and subject to change based on the final design of lot and street layouts at the time of platting. The construction of trails may be phased with each affected plat. Sidewalks shall generally be curvilinear.
11. Street Sections. The Property may be developed in accordance with the conceptual street sections and street diagram shown on Attachment 3. The street sections may be used to design roadways, and may be modified by the developer with the approval of the Director of Planning and Development Services. The lot and street layouts on Attachment 3 are conceptual and subject to change at the time of platting.
12. Street Trees.
- a. Street trees, as shown on the conceptual street tree diagram attached as Attachment 6, may be provided in the parkway at the option of the developer to meet landscaping requirements for large trees on the adjacent lot, subject to approval by the Director of Planning and Development Services and the Fire Marshall at the time of building permit issuance. If street trees are approved, the developer shall, as a condition of the City's approval, do one of the following, as determined by the City, to fund resulting damages to streets, sidewalks, and utilities: (1) enter into a repair agreement obligating developer to make the repairs and providing financial security of the ability to perform; or (2) consent to annual updates to PID assessments on the Property to fund repair costs.

- b. The lot and street layouts on Attachment 6 are conceptual and subject to change at the time of platting.
- c. For purposes of Attachment 6 and the landscaping regulations in the zoning ordinance, a large tree shall be a minimum of three inches in caliper at the time of planting, and a small or ornamental tree shall be a minimum of two inches in caliper at the time of planting.
- d. If trees are planted in the parkway in accordance with this section, the trees must have a minimum height clearance of 14 feet at maturity. Where trees are shown along streets, trees must average a minimum of one tree per 50 feet of street frontage, but are not required to be evenly spaced and may be clustered.

13. Exclusive Fees. Pursuant to Section 3.06 of the Development Agreement and the authority of Section 212.172 of the Texas Local Government Code, the following fee provisions shall apply to the Property:

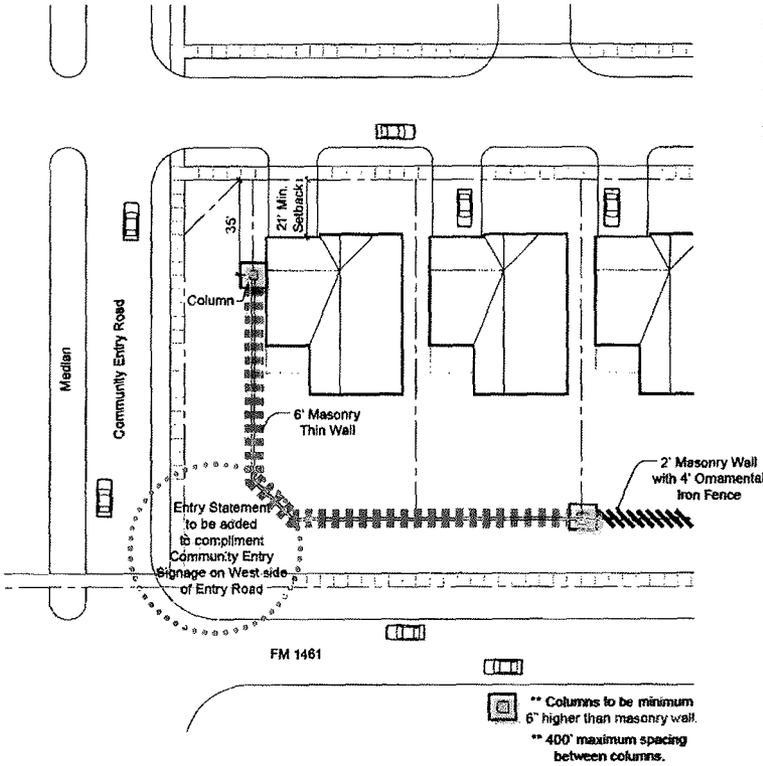
- a. Except as specifically described below in this Section 13, the Owner shall be subject to those lawfully adopted fees and charges due and payable to the City in connection with the development of the Property, including, but not limited to, outdoor warning device fees, permit fees and inspection fees.
- b. A fee may be charged to fund the City's reasonable costs of hiring a third party to review engineering plans in connection with the design and construction of water, sewer, drainage, and roadway improvements.
- c. Notwithstanding anything to the contrary in this Section 3.06 or the Governing Regulations, no capital recovery fees including, but not limited to, pro rata fees, impact fees for water, sewer, and roadways, park fees, and other capital recovery fees, shall be charged against the Property other than the following:
  - i. Development of the Property shall be subject to payment of park fees in the amount of \$1,500 per residential dwelling unit. Other than the provisions of open space required by this Ordinance, no park land dedication or construction of park improvements shall be required, and no fee related to maintenance of park improvements shall be required other than PID assessments.
  - ii. Water and sewer/wastewater impact fees adopted, assessed and collected in compliance with Chapter 395 of the Texas Local Government Code; and
  - iii. Fees for roadways that equal the same amount as the City's Roadway Impact Fee Regulations ("Roadway Fees"). The Roadway Fees shall be assessed and collected in the same manner as Roadway Impact Fees are collected under the Roadway Impact Fee Regulations. The Roadway Fees

are in consideration for the City agreeing not to collect the amount of pro-rata fees for roadways due under Ordinance No. 2015-06.

- d. The fee described in Section 3.06 of the Development Agreement associated with the Off-Site Utility Debt, as defined in the Development Agreement.

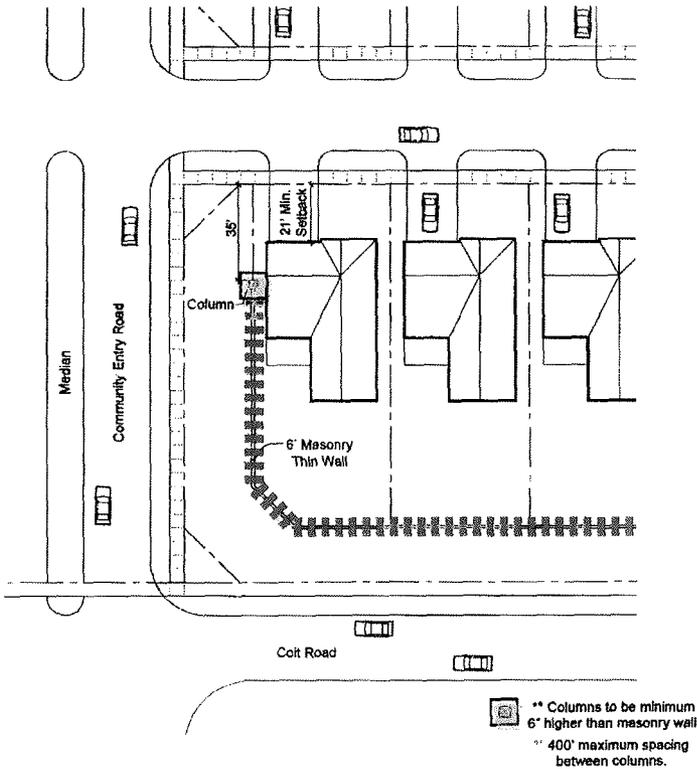
**Attachment 1**  
**Garage Setback**

### Community Entry at FM 1461 (Ornamental Fence Option)



LEGEND	
	6' Column
	2' Masonry Wall with Ornamental Fence
	6' Masonry Wall

### Community Entry at Coit Road (Masonry Option)



\*\* Columns to be minimum 6' higher than masonry wall.  
 \*\* 400' maximum spacing between columns.

#### INDEX MAP



## WELLS SOUTH TRACT / Community Entry Enlargements

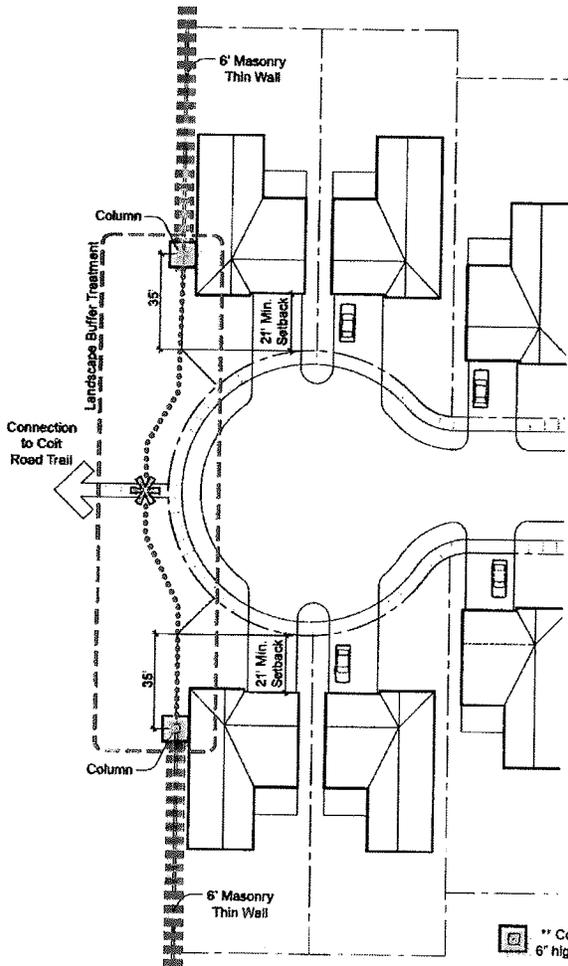
📍 Celina, TX

The information shown is based on the best information available and is subject to change without notice.

**HILLWOOD**  
 COMMUNITIES  
 Since 1981

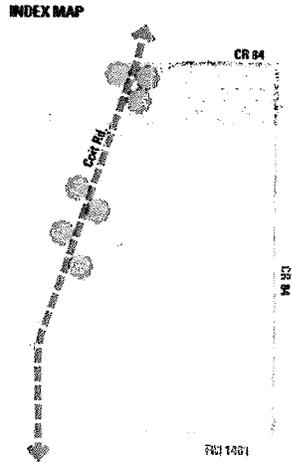
**TBG**  
 Ignites  
 Imagination

## Typical Cul-de-Sac



LEGEND	
	6' Column
	6' Masonry Wall
	Decorative Metal Fencing (Min 4' Height)
	Decorative Metal Gate

\*\* Columns to be minimum 6' higher than masonry wall.  
 \*\* 400' maximum spacing between columns.



# WELLS SOUTH TRACT / Garage Setback & Cul-de-sac Layout

Celina, TX

The information shown is based on the best information available and is subject to change without notice.

HILLWOOD  
 COMMUNITIES  
 Live Smart

T B G  
 James Group, Inc.

**Attachment 2**  
**Uses Permitted in Area F**

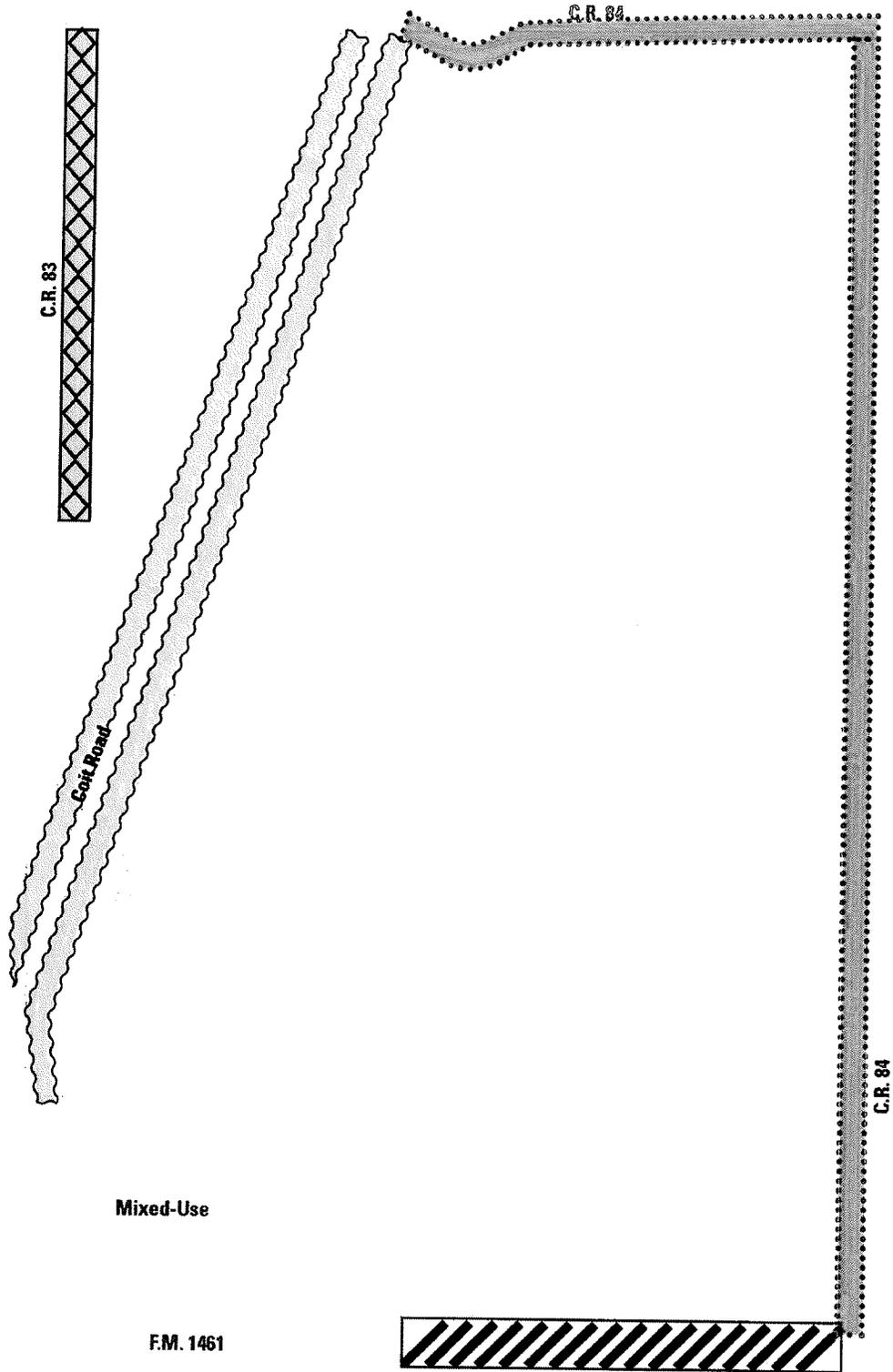
The following uses are permitted by right in Area F except as noted with a "C" indicating a conditional use permit is required for that use in accordance with the conditional use permit requirements of the Zoning Ordinance:

1. Amusement park – C
2. Amusement ride – C
3. Amusement services (indoors)
4. Amusement services (outdoors) – C
5. Armed services recruiting center
6. Artist studio
7. Assisted living facility – C
8. Auto dealer (new) – C
9. Auto laundry or car wash – C
10. Auto repair (major) – C
11. Auto repair (minor) – C
12. Auto supply stores for new & rebuilt parts – C
13. Bakery or confectionery (retail)
14. Bank/credit union
15. Bed & breakfast inn – C
16. Caretaker's/guard's residence – C
17. Carnival – C
18. Child day care (business)
19. Church/place of worship
20. Club, private (Class I & II) – C
21. Community home – C
22. Concrete or asphalt batching plant (temporary) – C
23. Contractor's office/sales (with no outside storage)
24. Convenience store
25. Convenience store (with gas sales) – C
26. Day camp for children
27. Drapery, blind or furniture upholstery shop
28. Dry cleaning plant – C
29. Dwelling, single family attached (no duplex)
30. Fair ground/exhibition area – C
31. Family home (adult or child care) – C
32. Farmers market (public) – C
33. Feed and grain store
34. Food or grocery store
35. Franchise private utility – C
36. Fraternal organization, lodge or union – C
37. Funeral home (without crematorium) – C
38. Garden shop (inside storage)

39. General retail store
40. Group day care home – C
41. Home improvement center (lumber yard) – C
42. Hotel – C
43. Household appliance service and repair – C
44. Kiosk (providing a service) – C
45. Laundry/dry cleaning (drop off/pick up)
46. Living quarters on-site with a business – C
47. Medical facilities
48. Micro brewery - C
49. Mini-warehouse/self storage – C
50. Motorcycle sales and repair – C
51. Municipal facility
52. Nursery (grown for commercial purposes) – C
53. Nursery (retail sales outdoors)
54. Nursing/convalescent home – C
55. Office center
56. Offices (professional and general business)
57. Office warehouse – C
58. Outdoor retail sales/commercial promotion – C
59. Parking lot structure, commercial (auto) – C
60. Pawn shop – C
61. Personal services shop
62. Pet and animal grooming shop (no outdoor kennels/play area)
63. Propane sales (retail) – C
64. Rehabilitation care facility – C
65. Rehabilitation care institutions – C
66. Residential loft
67. Restaurant (with or without drive-through or drive-in services)
68. Retirement home/home for the aged – C
69. Rooming/boarding house – C
70. Seasonal business – C
71. Studio for radio or television (without tower) – C
72. Telemarketing agency – C
73. Temporary amusement rides – C
74. Temporary business – C
75. Theater or playhouse (indoor)
76. Tire dealer, with or without open storage – C

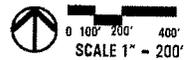
Note: Uses listed above that involve the sale or consumption of alcohol are permitted only to the extent permitted by applicable state alcohol laws.

**Attachment 3**  
**Screening and Landscaping**



Mixed-Use

F.M. 1461



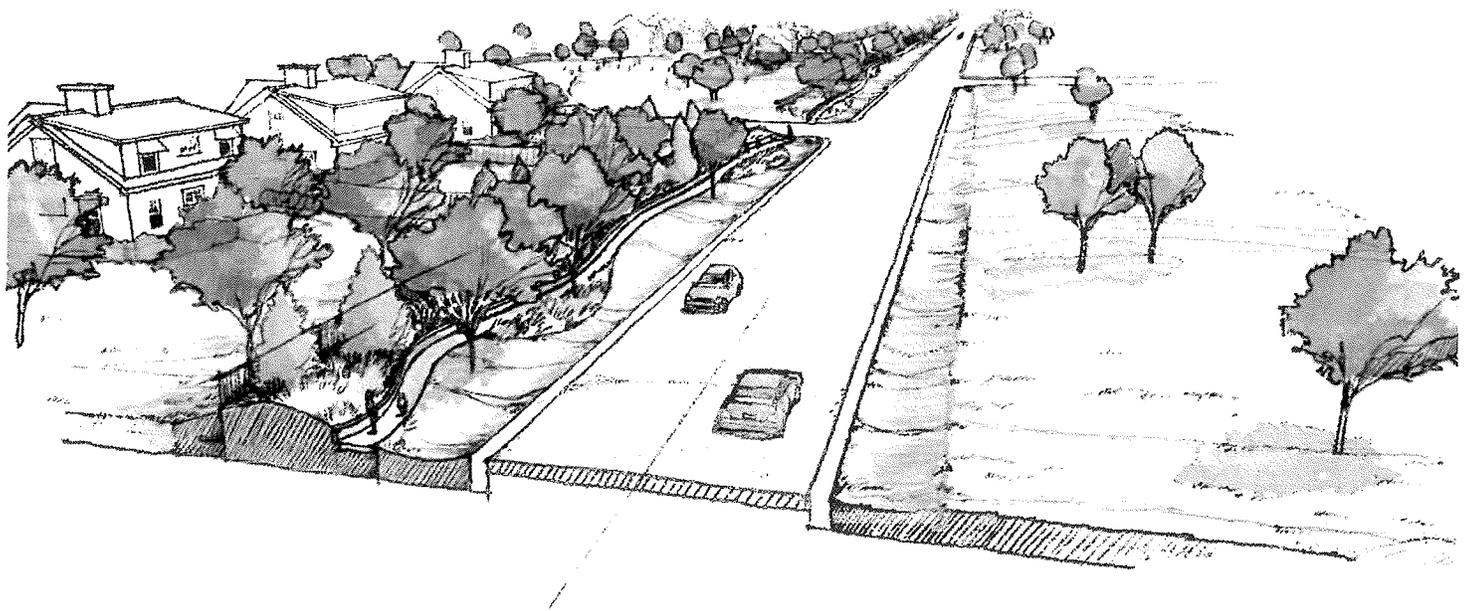
# WELLS SOUTH TRACT / Landscape Edge Treatment Area

📍 Celina, TX

The information shown is based on the best information available and is subject to change without notice.

**HILLWOOD**  
COMMUNITIES  
Live Smarter

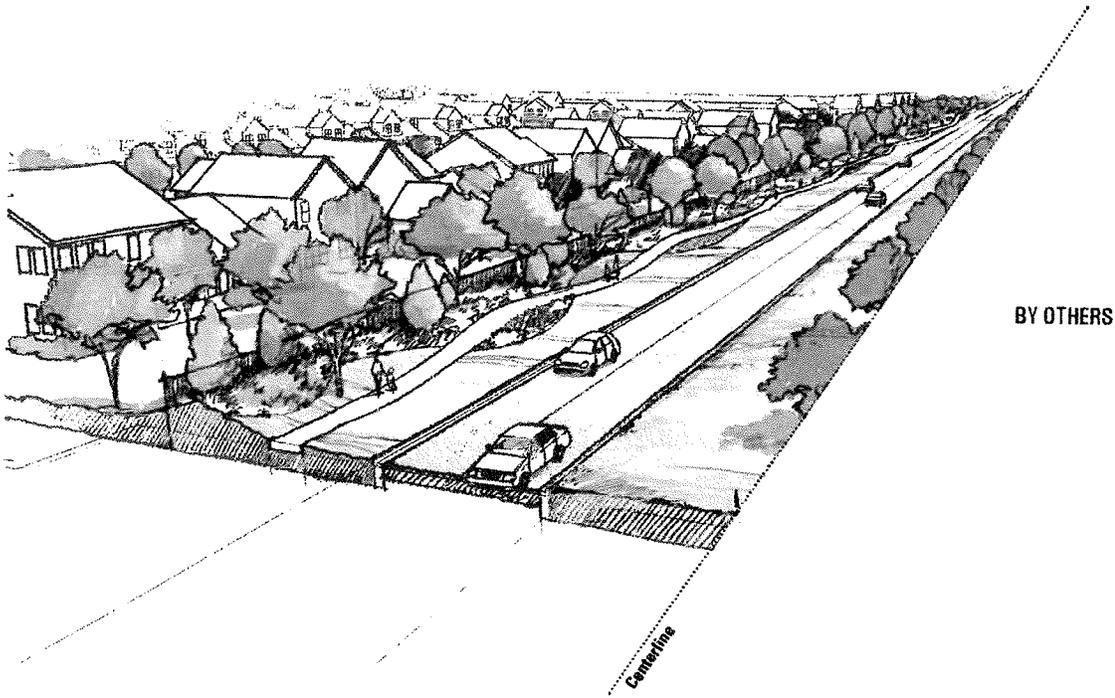
**TBG** *James K. Thompson Co.*



WELLS SOUTH TRACT / View Along C.R. 83 & C.R. 84

Colina, TX Hillwood Communities  
The information shown is based on the best information available and is subject to change without notice.





WELLS SOUTH TRACT / View Along F.M. 1461 (Frontier Parkway)

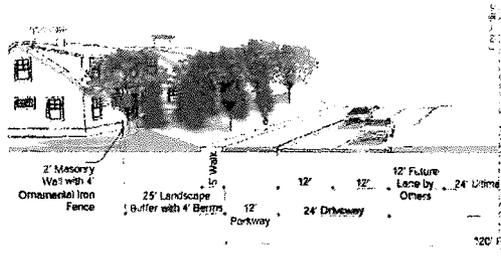
📍 Dallas, TX 🏠 Hillwood Communities

The information shown is based on the best information available and is subject to change without notice.

**HILLWOOD**  
COMMUNITIES  
Estate Builders

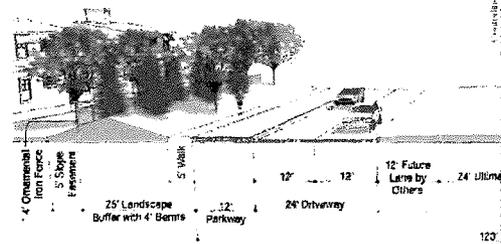
**T B G**  
Architect  
Worship

**FM 1461 - Option 1** 



BY OTHERS

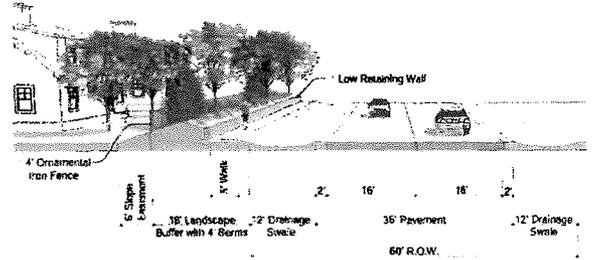
**FM 1461 - Option 2** 



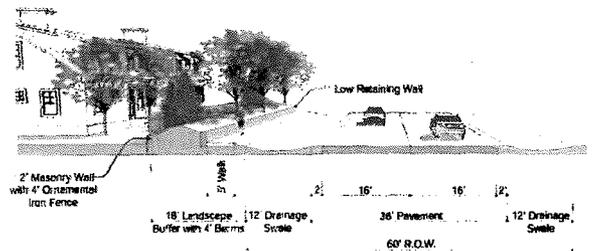
BY OTHERS

\*No wood fences shall be used at rear or sides of residential homes along F.M. 1461.  
 \*\* Trail shown for conceptual purposes only. The trail shall meander along F.M. 1461 and retaining walls shall only be built where necessary. Reference CR 84 perspective for an example of meandering walk.

**CR 84 - Option 1** 

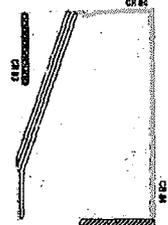


**CR 84 - Option 2** 



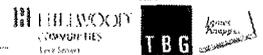
\*No wood fences shall be used at rear or sides of residential homes along CR 84.  
 \*\* Trail shown for conceptual purposes only. The trail shall meander along CR 84 and retaining walls shall only be built where necessary. Reference CR 84 perspective for an example of meandering walk.

INDEX MAP

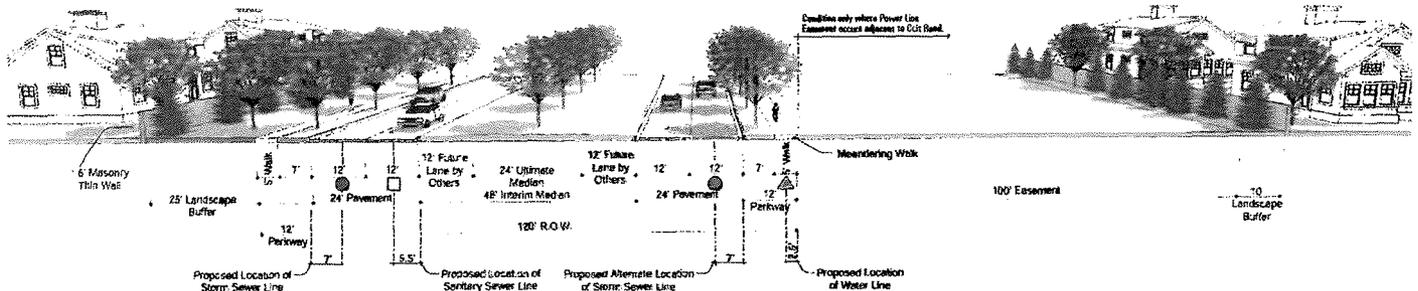


**WELLS SOUTH TRACT / Edge Treatment Sections**

Colina, TX Hillwood Communities  
 The information shown is a guide to the best information available and is subject to change without notice.

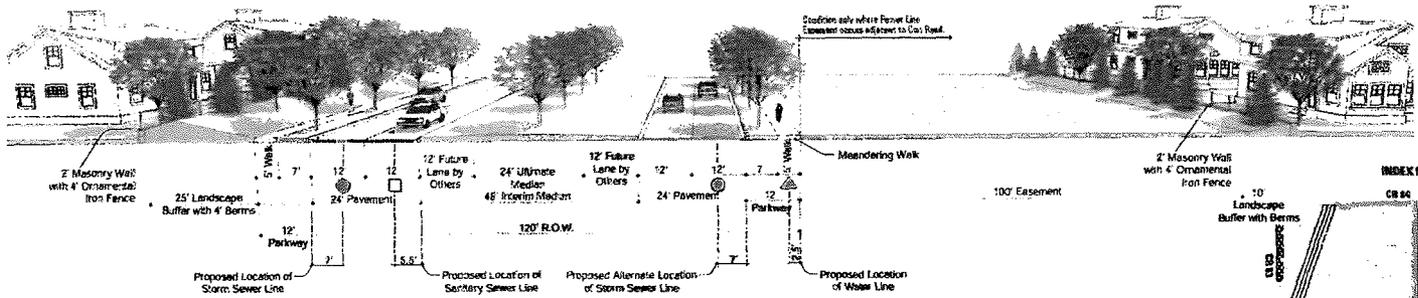


**Coit Road - Option 1 - Thinwall**



\* No wood fences shall be used at rear or sides of residential homes along Coit Road.

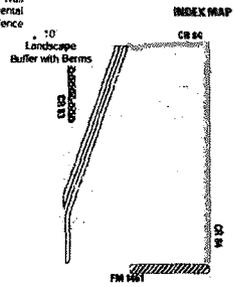
**Coit Road - Option 2 - Low wall with Iron Fencing**



\* No wood fences shall be used at rear or sides of residential homes along Coit Road.

**UTILITIES LEGEND**

	Storm Sewer Line
	Sanitary Sewer Line
	Water Line



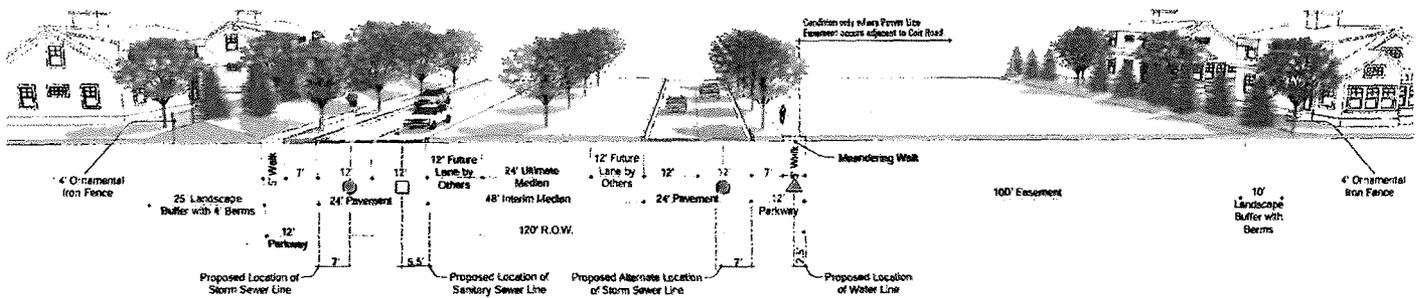
**WELLS SOUTH TRACT / Street Sections**

Colina, TX Hillwood Communities  
The site plan shown is based on the best information available and is subject to change without notice.

**HILLWOOD COMMUNITIES**  
 LIVING SMART

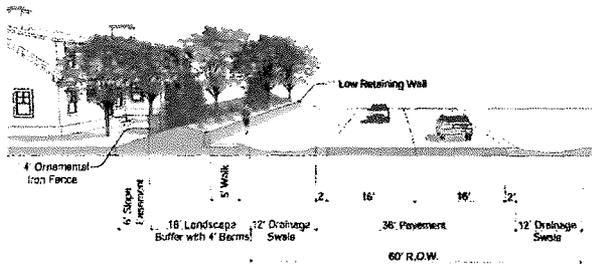
**T&G**  
 ENGINEERS ARCHITECTS

**Coit Road - Option 3 - Berm and Iron Fencing**



\* No wood fences shall be used at rear or sides of residential homes along Coit Road.

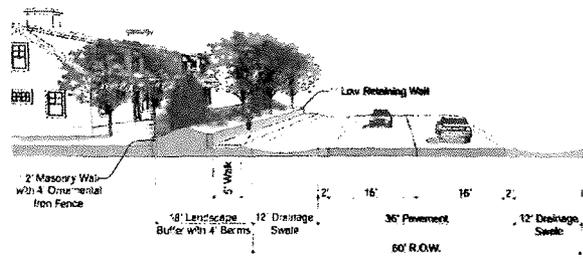
**CR 83 - Option 1**



\* No wood fences shall be used at rear or sides of residential homes along CR 83.

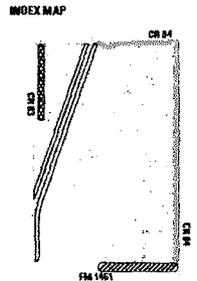
\*\* Trail shown for conceptual purposes only. The trail shall meander along C.R. 83 and retaining walls shall only be built where necessary. Reference CR 83 perspective for an example of meandering walk.

**CR 83 - Option 2**



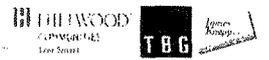
**UTILITIES LEGEND**

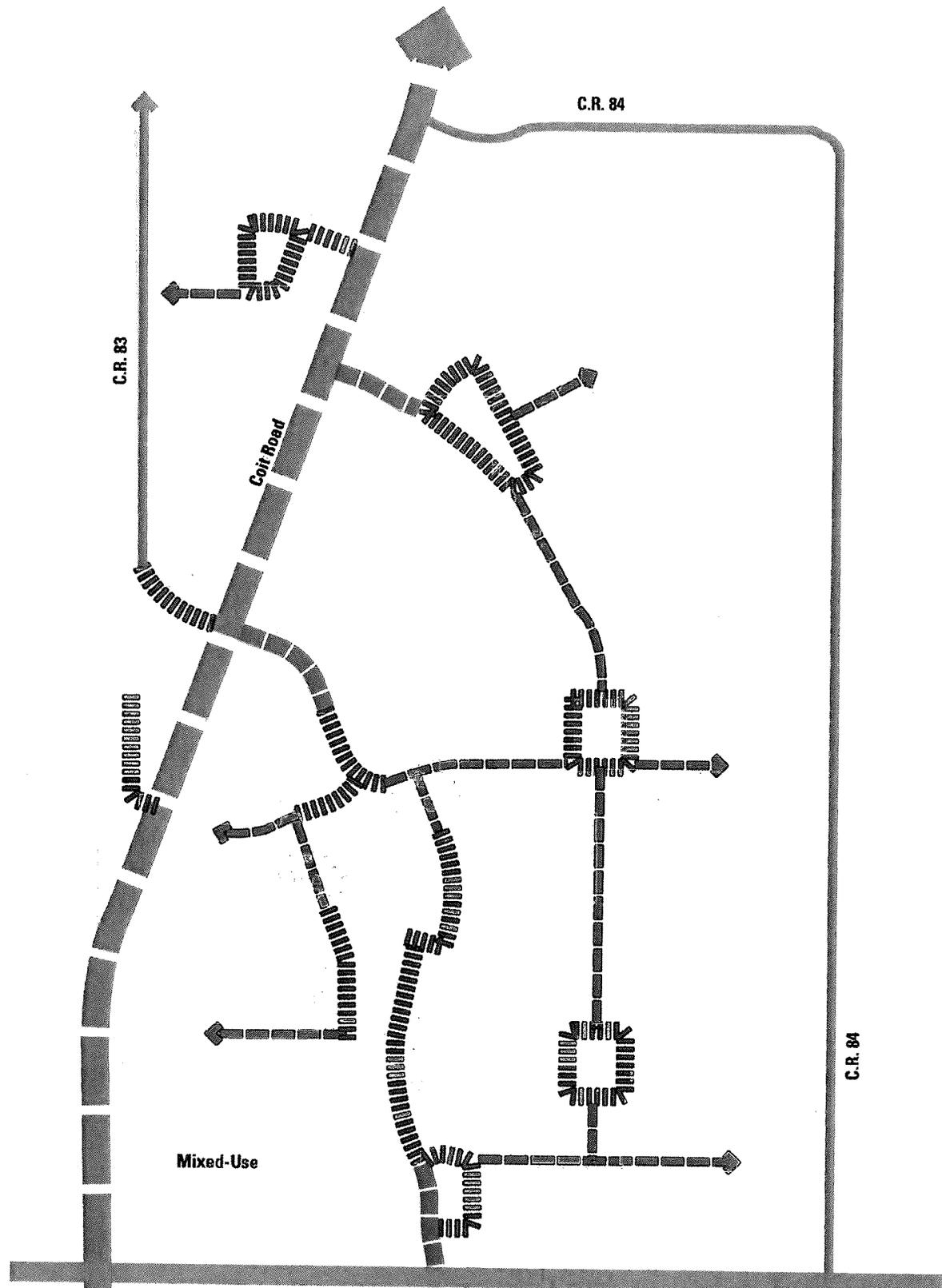
	Storm Sewer Line
	Sanitary Sewer Line
	Water Line



**WELLS SOUTH TRACT / Street Sections**

Coinea, TX Hillwood Communities  
 The information shown is based on the best information available and is subject to change without notice.

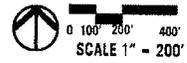




**STREET TYPE LEGEND**

SYMBOL	STREET TYPE	R.O.W.
	Coit Road	120'
	Entry Street	85'
	Parkway	60'
	Neighborhood Street (Typ.)	50'

F.M. 1461



**WELLS SOUTH TRACT / Street System Diagram**

📍 Celine, TX

The information shown is based on the best information available and is subject to change without notice.

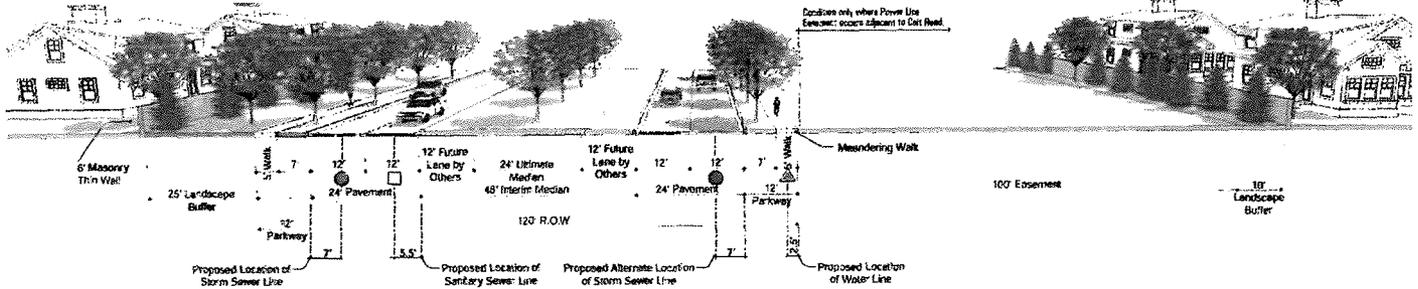
**HILLWOOD**  
COMMUNITIES  
Live Smart

**TBG**

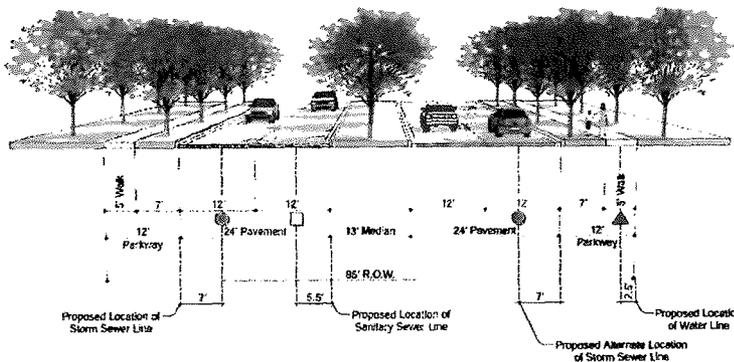
*James*  
**Kovappu**  
OWNER

**Coit Road - Option 1\*\* - Thinwall**

\*\*See "Internal Edge Treatments" for additional Landscape Buffer Treatments



**Entry Street**

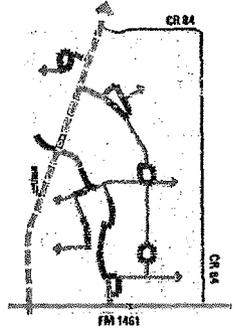


**UTILITIES LEGEND**

	Storm Sewer Line
	Sanitary Sewer Line
	Water Line

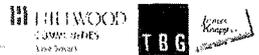
© 2010 Hillwood Communities

**INDEX MAP**

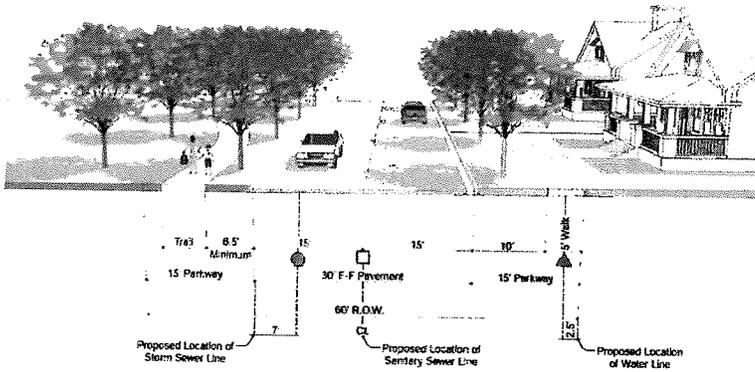


**WELLS SOUTH TRACT / Street Sections**

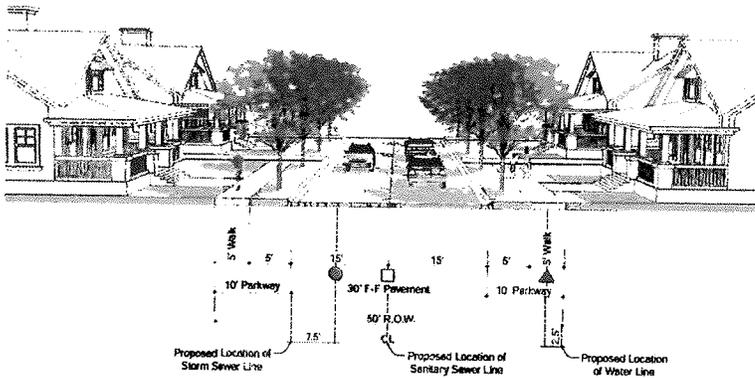
Colina, TX Hillwood Communities  
 The information shown is based on the best information available and is subject to change without notice.



**Parkway**

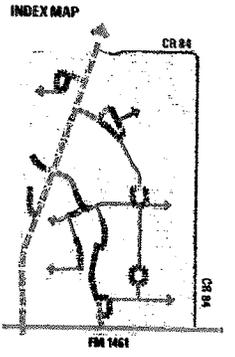


**Neighborhood Street (Typ.)**



**UTILITIES LEGEND**

	Storm Sewer Line
	Sanitary Sewer Line
	Water Line

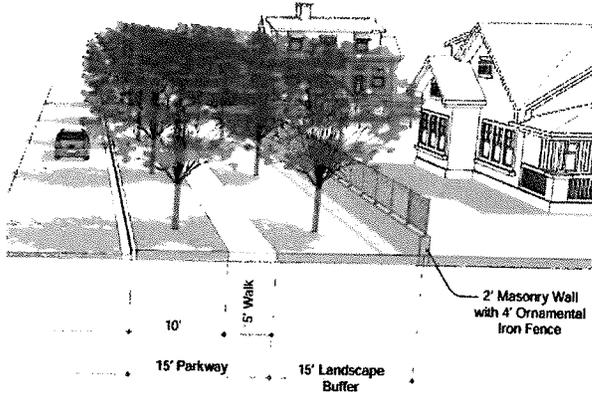


**WELLS SOUTH TRACT / Street Sections**

Delina, TX Hillwood Communities  
The information shown is based on the best information available and is subject to change without notice.

**HILLWOOD COMMUNITIES** **TBG**

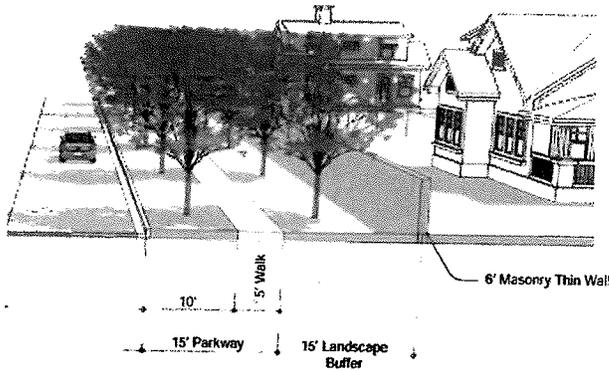
### Side Lot Edge Treatment Option 1



Parkway (Ref. Street Sections for R.O.W.)

\*Walk shown for conceptual purposes only. The walk shall meander through parkway.

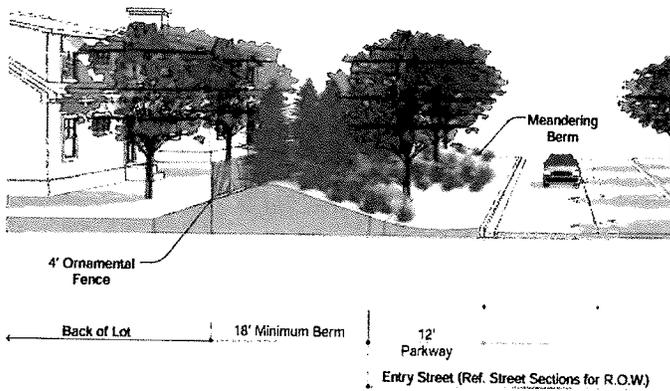
### Side Lot Edge Treatment Option 2



Parkway (Ref. Street Sections for R.O.W.)

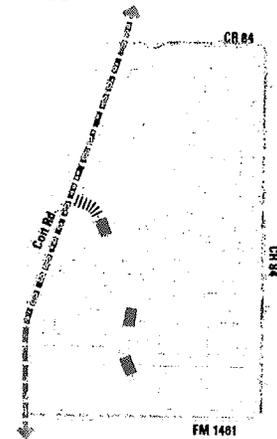
\*Walk shown for conceptual purposes only. The walk shall meander through parkway.

### Rear Lot Edge Treatment Option



\*\* Side lot edge treatment options can be applied to rear lot conditions.

### INDEX MAP



## WELLS SOUTH TRACT / Internal Edge Treatment

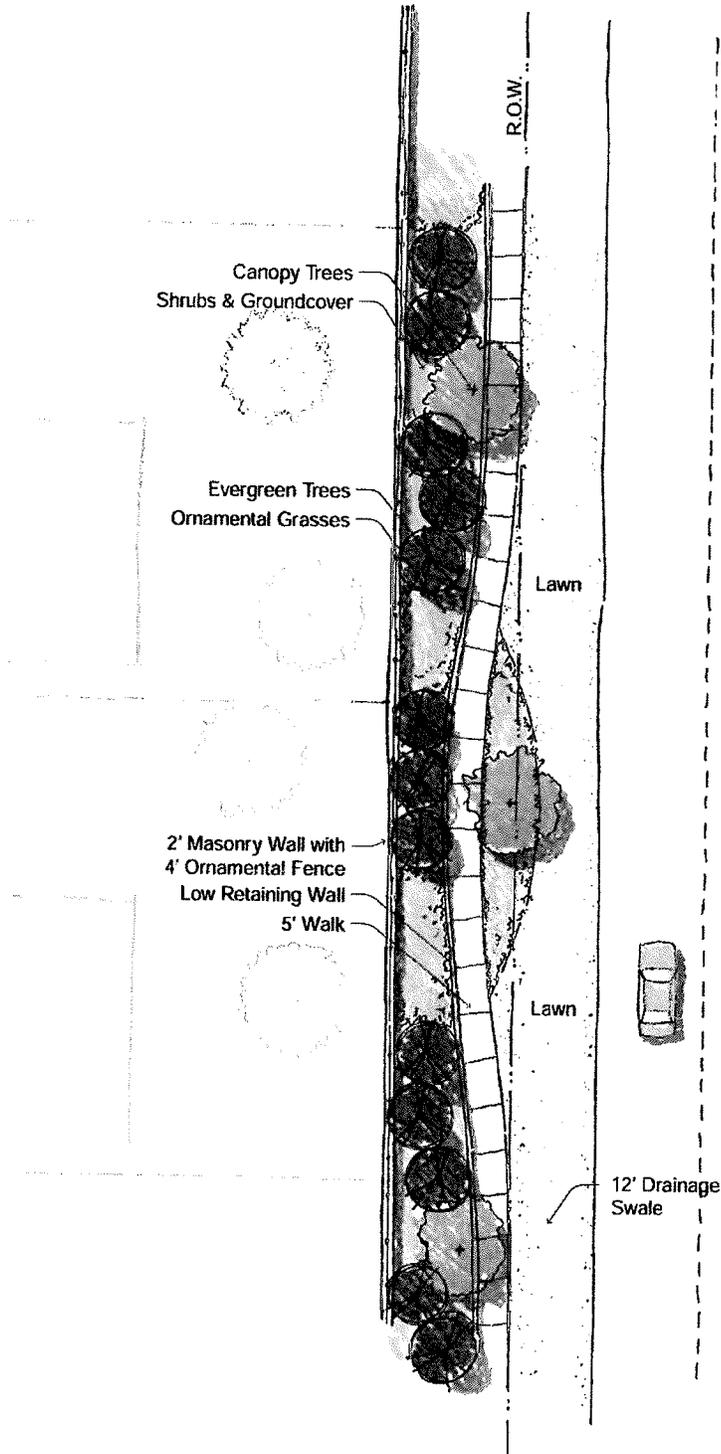
Colina, TX

The information shown is based on the best information available and is subject to change without notice.

THE WOODS  
COMMUNITIES  
Live Smart

James  
Group, Inc.  
T B G

# Typical Landscape Edge Treatment Plan



## WELLS SOUTH TRACT / Typical Edge Treatment Plan

📍 Celina, TX

The information shown is based on the best information available and is subject to change without notice.

**HILLWOOD**  
COMMUNITIES  
LIVE SIMPLY

**T B G**  
James  
Klopp, Inc.

Attachment 4  
Recommended Planting List

**Canopy Trees:**

1. Acer barbatum var. Caddo. **Caddo Maple**
2. Acer buergerianum. **Trident Maple**
3. Acer grandidentatum. **Bigtooth Maple**
4. Acer negundo. **Boxelder Tree or Ashleaf Maple**
5. Carya illinoensis. **Pecan**, select Sioux or Desirable variety
6. Fraxinus americana. **White Ash**
7. Fraxinus pennsylvanica. **Green Ash**
8. Fraxinus pennsylvanica var. Urbanite. **Urbanite Ash**
9. Fraxinum texensis. **Texas Ash**
10. Ginkgo biloba. **Ginkgo**
11. Gleditsia triacanthus var. Inermis. **Inermis Thornless Honeylocust**
12. Gymnoeladus dioicus. **Kentucky Coffeetree**
13. Juglans microcarpa. **Texas Black Walnut**
14. Koelreuteria paniculata. **Goldenrain Tree**
15. Pistacio chinensis. **Chinese Pistache**
16. Quercus acutissima. **Sawtooth Oak**
17. Quercus buckleyi. **Texas Red Oak**
18. Quercus durandii. **Durand Oak**
19. Quercus laceyii. **Lacey Oak**, bluish foliage
20. Quercus macrocarpa. **Bur Oak**
21. Quercus muhlenbergii. **Chinquapin Oak**
22. Quercus prinus. **Chestnut Oak**
23. Quercus shumardii. **Shumard Red Oak**
24. Quercus virginiana. **Live Oak**
25. Sapindus drummondii. **Western Soap berry**
26. Sideroxylon lanuginosum. **Chittamwood**
27. Taxodium ascendens. **Pond Cypress**
28. Taxodium distichum. **Bald Cypress**
29. Taxodium distichum var. Shawnee Brave. **Shawnee Brave Bald Cypress**
30. Ulmus alata. **Winged Elm**
31. Ulmus Americana var. Valley Forge. **Valley Forge American Elm**, this variety is resistant to Dutch Elm Disease
32. Ulmus crassifolia. **Cedar Elm**
33. Ulmus parvifolia. **Lacebark Elm**
34. Ulmus parvifolia var. Allee. **Allee Elm**
35. Zelkova serrata. **Japanese Zelkova** - very drought tolerant

**Accent Plants:**

1. Aesculus pavia. **Red Buckeye**
2. Aesculus parviflora. **Bottlebrush Buckeye**

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Planned Development District

3. *Callicarpa americana*. **American Beautyberry**
4. *Callicarpa Americana* var. *Profusion*. **Profusion Beautyberry**
5. *Callicarpa dichotoma* var. *Early Amethyst*. **Early Amethyst Beautyberry**
6. *Carpinus betulus*. **European Hornbeam**
7. *Cephalanthus occidentalis*. **Button Bush**
8. *Cercis canadensis*. **Redbud** - full sun or understory tree
9. *Cercis canadensis* var. *Alba*, **White Redbud** - full sun or understory tree
10. *Cercis canadensis* var. *Texensis*, **Texas Redbud** - full sun or understory tree
11. *Cercis canadensis* var. *Mexicana*, **Mexican Redbud** - full sun or understory tree
12. *Cercis reniformis* var. *Oklahoma*, **Oklahoma Redbud** - full sun or understory tree
13. *Chilopsis linearis*, **Desert Willow**
14. *Chionanthus virginicus*, **White Fringe Tree**
15. *Cornus drummondii*, **Roughleaf Dogwood** - understory tree
16. *Cotinus obovatus*, **American Smoketree**
17. *Cupressus arizonica* - **Arizona Cypress**
18. *Cupressus sempervirens*, **Italian Cypress**
19. *Diospyros texana*, **Texas Persimmon**
20. *Foresteria pubescens*, **Elbow Bush**
21. *Hamamelis vernalis*, **Arkansas Witch Hazel**
22. *Hamamelis virginiana*, **Common Witch Hazel**
23. *Ilex decidua*, **Possumhaw Holly**
24. *Ilex decidua* var. *Finch's Golden*, **Finch's Golden Possumhaw Holly** - bright golden berries
25. *Ilex decidua* var. *Paco*, **Paco Possumhaw Holly** - deep orange berries
26. *Ilex decidua* var. *Warren's Red*, **Warren's Red Possumhaw Holly** - bright red berries
27. *Ilex* var. *Mary Nell*, **Mary Nell Holly**
28. *Ilex* var. *Nellie R. Steven's*, **Nellie R. Steven's Holly**
29. *Ilex vomitoria* var. *Pride of Houston*, **Pride of Houston Yaupon Holly**
30. *Ilex vomitoria* var. *Will Fleming*, **Will Fleming Yaupon Holly** - upright, 1-2' spread, no berries
31. *Juniperus asheii* **Ash Juniper or Blueberry Juniper**
32. *Juniperus chinensis* var. *Blue Point*, **Blue Point Juniper** - blue color foliage
33. *Juniperus chinensis* var. *Spartan*, **Spartan Juniper** - more upright
34. *Juniperus virginiana*, **Eastern Red Cedar**
35. *Lagerstroemia indica* var. *Acoma*, **Acoma Crape Myrtle** - white with weeping, cascading growth habit
36. *Lagerstroemia indica* var. *Basham's Party Pink*, **Party Pink Crape Myrtle** - lavender pink
37. *Lagerstroemia indica* var. *Muskogee*, **Muskogee Crape Myrtle** - light lavender
38. *Lagerstroemia indica* var. *Natchez*, **Natchez Crape Myrtle** - White
39. *Lagerstroemia indica* var. *Sioux*, **Sioux Crape Myrtle** - vivid pink
40. *Lagerstroemia indica* var. *Tonto*, **Tonto Crape Myrtle** - deep red
41. *Lagerstroemia indica* var. *Tuscarora*, **Tuscarora Crape Myrtle** - coral pink
42. *Lagerstroemia indica* var. *Tuskegee*, **Tuskegee Crape Myrtle** - dark pink
43. *Leucana retusa*, **Lemonball or Goldenball Lead Tree** - very drought tolerant
44. *Undera benzoin*, **Spice Bush**

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45. Magnolia grandiflora var. Alta, **Alta Magnolia** - upright and dense
46. Magnolia grandiflora var. Claudia Wannamaker - **Claudia Wannamaker Magnolia**
47. Magnolia grandiflora var. Uttle Gem - **Little Gem Magnolia**
48. Magnolia stellata, **Star Magnolia** - understory tree
49. Magnolia soulangiana, **Saucer Magnolia** - understory tree
50. Pinus edulis, **Pinion Pine**
51. Pinus eldarica, **Afghan Pine**
52. Pinus nigra, **Austrian Pine**
53. Pinus pinea, **Italian Stone Pine**
54. Pinus thunbergiL **Japanese Black Pine**
55. Prosopis glandulosa, **Honey Mesquite**
56. Prunus mexicana. **Mexican Plum**
57. Rhamnus caroliniana. **Carolina Buckthorn**
58. Rhus aromatic. **Fragrant Sumac**
59. Rhus lanceolata. **Prairie Flameleaf Sumac**
60. Rhus microphylla. **Littleleaf Sumac** - very. very drought tolerant
61. Sophora affinis. **Eve's Necklace**
62. Ungnadia speciosa. **Mexican Buckeye**
63. Viburnum macrocephalum. **Chinese Snowball Viburnum**
64. Viburnum rufulum. **Rusty Blackhaw** - good understory tree
65. Vitex agnus-castus. **Vitex** - purple variety
66. Vltex agnus-castus var. Cooke's White. **Cooke's White Vitex** - white variety

**Shrubs:**

1. Abella var. Rose Creek. **Rose Creek Abelia**
2. Abelia var. Kaleidoscope. **Kaleidoscope Abelia**
3. Abelia var. White Prostrate. **White Prostrate Abelia**
4. Agavespp. **Agave**
5. Buxus var. Wlntergreen. **Wintergreen Boxwood**
6. Buxus var Winter Gem. **Winter Gem Boxwood**
7. Ceanothus americana. **New Jersey Tea Plant**
8. Chaenomeles superba var. Texas Scarlet. **Texas Scarlet Flowering Quince**
9. Cotoneaster glaucophyllus. **Gray Cotoneaster**
10. Daleo formosa. **Feather Dalea**
11. Eupatorium greggil. **Greg's Mist Flower**
12. Hesperaloe funifera. **Giant Red Yucca**
13. Hesperaloe parviflora. **False Red Yucca**
14. Hesperaloe parviflora. **False Yellow Yucca**
15. Hibiscus cocclneus. **Texas Star Hibiscus**
16. Hydrangea quercifolia. **Oakleaf Hydrangea**
17. Ilex vomltorla var. Nona. **Dwarf Yaupon Holly**
18. Ilex vomltorla var. Bordeaux. **Bordeaux Dwarf Yaupon Holly**
19. Lagerstroemia Indica. **Dwarf Crape Myrtle**, this plant is available in many colors and range of heights
20. Leucophyllum frutescens. **Texas Sage**
21. Leucophyllum var. Greencloud. **Greencloud Texas Sage**

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22. *Leucophyllum* var. Silverado Dwarf. **Silverado Dwarf Texas Sage**
23. *Malvastrum drummondii*. **Turk's Cap**
24. *Mimosa borealis*. **Fragrant Mimosa**
25. *Myrica pusilla*. **Dwarf Wax Myrtle**
26. *Opuntia ellisiana*. **Spineless Prickly Pear**
27. *Rhus michauxii* **Michaux's Sumac**
28. *Rosa* var. Belinda's Dream. **Belinda's Dream Rose**
29. *Rosa* var. Knockout. **Knockout Rose**
30. *Rosa* var. Martha Gonzalez. **Martha Gonzalez Rose**
31. *Rosa* var. Mutabilis. **Mutabilis Rose**
32. *Rosmarinus officinalis*. **Rosemary**
33. *Sedum* var. Autumn Joy. **Autumn Joy Sedum**
34. *Spiraea vanhouttei*. **Bridal Wreath Spiraea**
35. *Spiraea japonica* var. Anthony Japonica. **Anthony Spiraea**
36. *Symphoricarpos chenaultii* var. Hancock, **Hancock Snowberry**
37. *Symphoricarpos orbiculatus*, **Coralberry**
38. *Yucca filamentosa* var. Color Guard, **Color Guard Yucca**
39. *Yucca gloriosa* var. Variegata, **Variegated Spanish Dagger**
40. *Yucca pallida*, **Pale Leaf Yucca**
41. *Yucca recurvifolia*, **Softleaf Yucca**
42. *Yucca rigida*, **Blue Yucca**
43. *Yucca rostrata* var. Sapphire Skies, **Sapphire Skies Yucca**
44. *Yucca rupicola*, **Twisted Leaf Yucca**
45. *Yucca treculeana*, **Texas Bayonet Yucca**

**Ornamental Grasses:**

1. *Carex buchananii* var. Red Rooster, **Red Rooster Sedge**
2. *Carex cherokeensis*, **Cherokee Sedge**
3. *Carex divulsa*, **Meadow Sedge**
4. *Carex oshimensis* var. Everest **Everest Weeping Sedge**
5. *Carex oshimensis* var. Evergold, **Evergold Sedge**
6. *Carex perdentata*, **Webberville Sedge**
7. *Carex phyllocephala* var. Sparkler, **Sparkler Sedge**
8. *Chasmanthium latifolium*, **Inland Sea Oats**
9. *Cortaderia selloana* var. Pumila, **Dwarf Pampas Grass**
10. *Corynephorus canescens* var. Spiky Blue, **Spiky Blue Grass**
11. *Cyperus alternifolius*, **Umbrella Plant**
12. *Cyperus nanus*, **Compact Umbrella Plant**
13. *Dianella tasmanica* var. Variegata, **Variegated Flax Lily**
14. *Eragrostis curvula*, **Weeping Lovegrass**
15. *Eragrostis elliottii*. **Blue Lovegrass**
16. *Juncus inflexus* var. Blue Arrows, **Blue Arrows Rush**
17. *Juncus pallidus* var. Javelin, **Javelin Rush**
18. *Koeleria glauca* var. Coolio, **Coolio Blue Hair Grass**
19. *Koeleria glauca* var. Blue Sprite, **Blue Sprite Blue Hair Grass**
20. *Miscanthus sinensis* var. Adagio, **Adagio Miscanthus**

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21. *Miscanthus sinensis* var. *Gracillimus*, **Maiden Grass**
22. *Muhlenbergia capillaris*, **Gulf Coast Muhly**
23. *Muhlenbergia capillaris* var. *Lenca*, **Regal Mist Pink Muhly**
24. *Muhlenbergia duboides*, **Weeping Muhly**
25. *Muhlenbergia dumosa*, **Bamboo Muhly**
26. *Muhlenbergia lindheimeri*, **Lindheimer Muhly**
27. *Panicum virgatum* var. *Dallas Blues*, **Dallas Blues Switchgrass**
28. *Panicum virgatum* var. *Heavy Metal*, **Heavy Metal Switchgrass**
29. *Schizachyrium scoparium*, **Little Bluestem**
30. *Stipa tenuissima*, **Mexican Feathergrass**

**Perennials:**

1. *Achillea* var. *Moonshine*, **Moonshine Yarrow**
2. *Anisacanthus quadrifidus wrightii*, **Flame Acanthus**
3. *Aquilegia chrysantha* var. *hinkcleyana*, **Texas Gold Columbine**
4. *Artemesia* var. *Powis Castle*, **Powis CasHe Artemesia**
5. *Aster oblongifolius*, **Fall Aster**
6. *Astrolepis sinuata*, **Wavy Scaly Cloakfern**
7. *Buddleia david ii*, **Butterfly Bush**
8. *Caillirhoe involucrate*, **Winecup**
9. *Calyptocarpus vialis*, **Horse Herb**
10. *Chrysactinia mexicana*, **Damianita**
11. *Coreopsis lanceolata*, **Lanceleaf Coreopsis**
12. *Datura wrightii*, **Datura Jimson Weed**
13. *Dyschoriste linearis*, **Snake Herb**
14. *Echinacea purpurea*, **Purple Coneflower**
15. *Eupatorium greegii*, **Greg's Mist Flower**
16. *Gaura lindheimeri*, **Pink Gaura**
17. *Lantana horrida*, **Texas Lantana**
18. *Lavandula intermedia* var. *Provence*, **Provence Lavender**
19. *Lippia graveolens*, **Mexican Oregano**
20. *Marsilia macropoda*, **Clover Fern**
21. *Melampodium leucanthum*, **Blackfoot Daisy**
22. *Nepeta faassenii* var. *Walker's Low*, **Walker's Low Catmint**
23. *Nierembergia gracilis* var. *Starry Eyes*, **Starry Eyes Nierembergia**
24. *Oenothera missouriensis*, **Fluttermills**
25. *Penstemon tenuis*, **Brazos Penstemon**
26. *Perovskia atriplicifolia*, **Russian Sage**
27. *Physostegia virginiana*, **Fall Obedient Plant**
28. *Rosmarinus officinalis* var. *Prostratus*, **Prostrate Rosemary**
29. *Rudbeckia fulgida*, **Black-eyed Susan**
30. *Rudbeckia fulgida* var. *Goldsturm*, **Goldsturm Rudbeckia**
31. *Rudbeckia maxima*, **Giant Coneflower**
32. *Salvia chamaedryoides*, **Gray Shrub Sage**
33. *Salvia farinacea* var. *Henry Duelberg*, **Henry Duelberg Sage**
34. *Salvia gregii* var. *Autumn Sage*, **Autumn Sage Salvia**

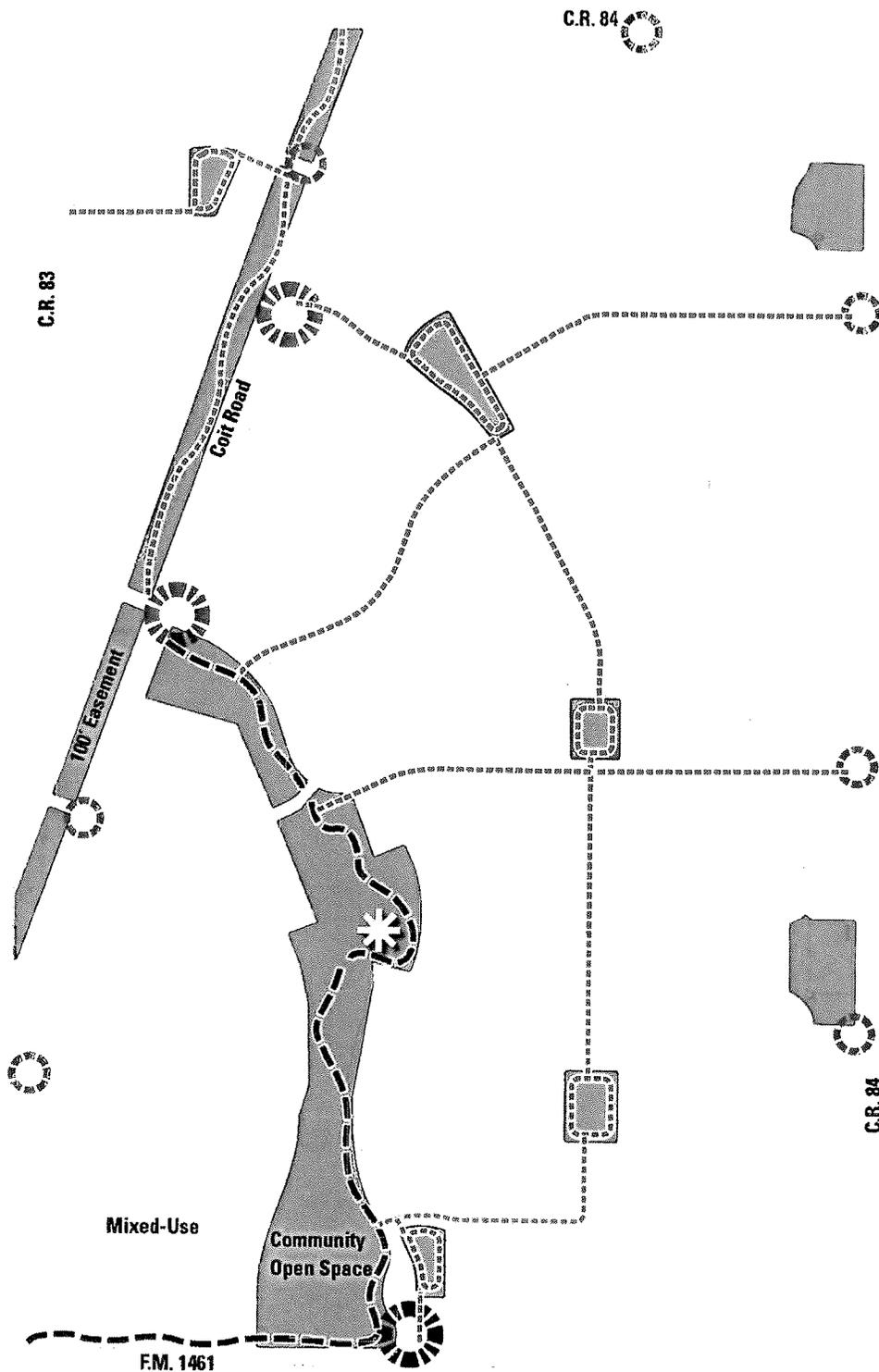
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35. Salvia hybrid. **Nuevo Leon Sage**
36. Salvia longispicata var. Indigo Spires, **Indigo Spires Salvia**
37. Salvia lyrata, **Lyre Leaf Sage**
38. Salvia roemeriana, **Cedar Sage**
39. Salvia var. May Night. **May Night Salvia**
40. Santolina chamaecyparissus, **Gray Santolina**
- 41 . Santolina pin nata, **Green Santolina**
42. Scytellaria ovate, **Heartleaf Skullcap**
43. Scutellaria suffrutescens, **Pink Skullcap**
44. Sedum var. Autumn Joy, **Autumn Joy Sedum**
45. Stachys byzantine, **Lamb's Ear**
46. Tetraeneuris scaposa, **Four Nerve Daisy**
47. Thelypteris kunthii. **Southern Wood Fern**
48. Verbena canadensis var. Homestead Purple, **Homestead Purple Verbena**
49. Wedelia texana, **Orange Zexmenia**

**Vines and Groundcover:**

1. Bignonia capreolata var. Tangerine Beauty, **Tangerine Beauty Crossvine**
2. Campsis tagliabuana var. Madame Galen, **Madame Galen Trumpet creeper**
3. Campsis radicans var. MonbaL **Balboa Sunset Trumpet creeper**
4. Campsis radicans var. Flamingo, **Flamingo Trumpet creeper**
5. Campsis radicans var. Flava, **Yellow Trumpet creeper**
6. Clematis paniculata, **Sweet Autumn Clematis**
7. Clematis var. Henryi, **Henry's Clematis**
8. Clematis var. Jackmanii, **Jackmanii ClemaHs**
9. Clematis var. Ramona, **Ramona ClemaHs**
10. Gelsemium rankinii, **Swamp Jessamine**
- 11 . Gelsemium sempervirens, **Carolina Jessamine**
12. Ipomoea quamoclit, **Cypress Vine**
13. Ipomoea sinuate, **Alamo Vine**
14. Lonicera sempervirens, **Coral Honeysuckle**
15. Lonicera sempervirens, **Yellow Honeysuckle**
16. Mascagnia macroptera, **Butterfly Vine**
17. Mazus Reptans, **Mazus Reptans**
18. Parthenocissus quinquefolia, **Virginia Creeper**
19. Passiflora caerulea var. Blue Crown, **Blue Crown Passion Vine**
20. Passiflora incarnate cinnicata var. Incense, **Incense Passion Vine**
21. Phyla nodiflora, **Texas Frogfruit**
22. Sedum spp., **Sedum**
23. Vinca Major, **Vinca Major**
24. Vinca Minor, **Vinca Minor**
25. Wisteria frutescens, **Texas Wisteria**

**Attachment 5**  
**Conceptual Open Space and Trail Plan**



AMENITIES & OPEN SPACE		TRAILS	NOTES
	Secondary Entry	8' (minimum width) Regional Hike & Bike Trail	City Standard Open Space Requirement -- One acre per every 75 housing units = 17.3 acres *For informational purposes only
	Primary Entry	6' (minimum width) Trail ** 6' Trails in front of homes to be built by builder.	
	Amenity Center	* 5' minimum width on all other walks	
	Open Space	** Material on all walks and trails to be concrete. City shall consider design alternative materials such as decomposed granite at the time of design.	
	35.8 AC		

## WELLS SOUTH TRACT / Open Space & Amenity Diagram

📍 Celina, TX

The information shown is based on the best information available and is subject to change without notice.

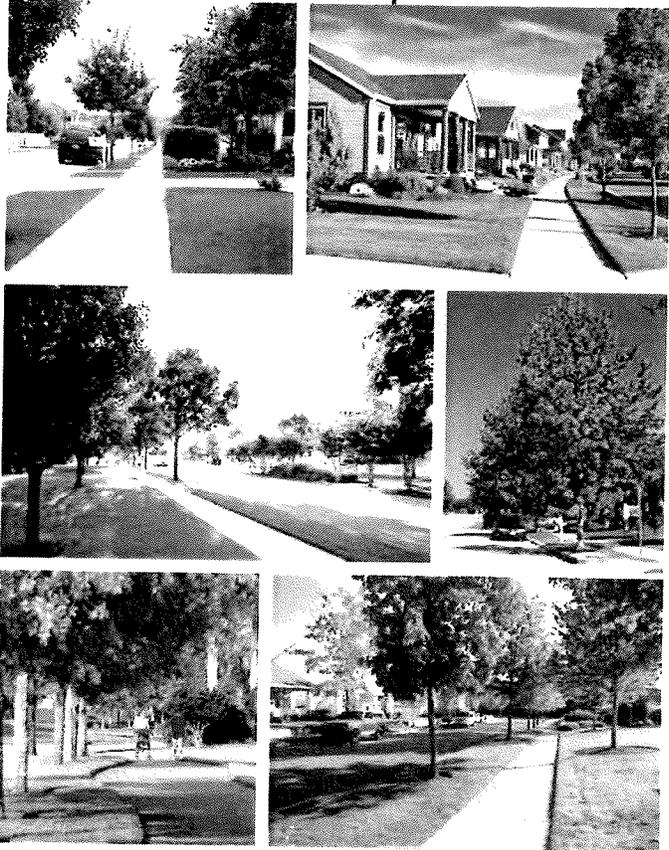
THE WOOD COMMUNITIES  
LIVE BETTER

TBG  
James Knapp  
Senior Vice President

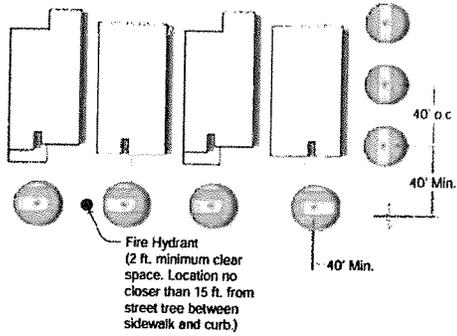
0 100' 200' 400'  
SCALE 1" = 200'

**Attachment 6**  
**Conceptual Street Tree Diagram**

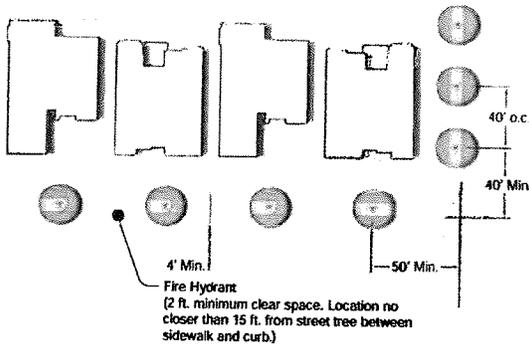
## Tree Lined Street Examples



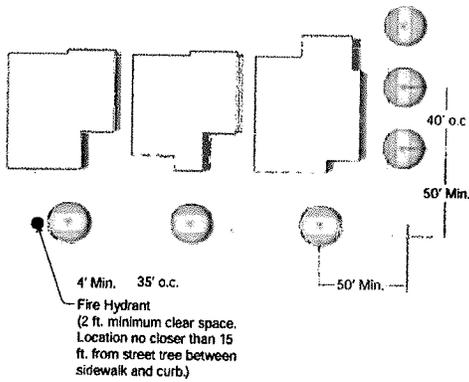
### 50' Lot Street Tree Layout



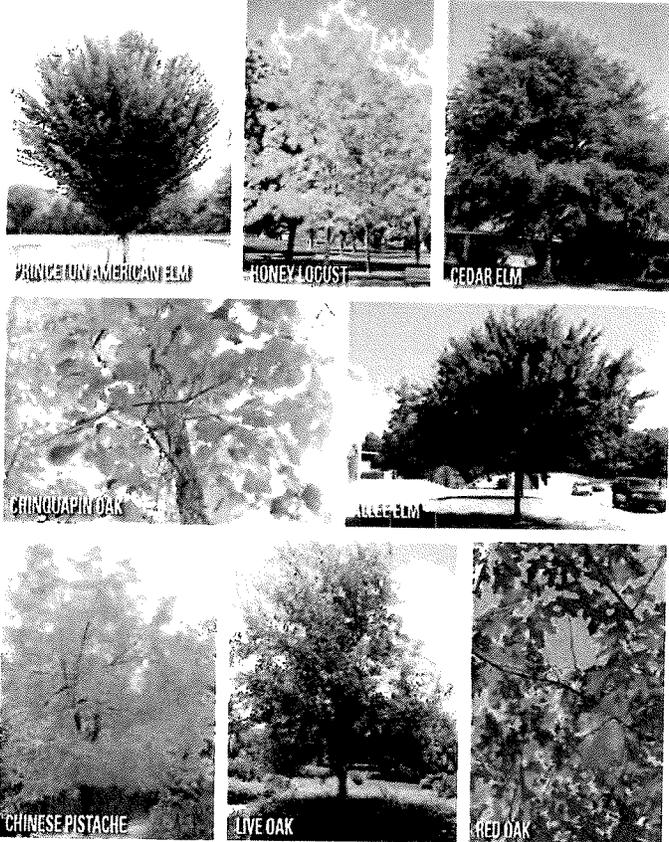
### 60' Lot Street Tree Layout



### 70' Lot Street Tree Layout



### Street Tree Palette



\*\*Street trees are subject to section 12 of Exhibit D.

## WELLS SOUTH TRACT / Street Tree Program

Colins, TX

The information shown is based on the best information available and is subject to change without notice.

HILLWOOD  
COMMUNITIES  
LIVE STREET

TBG  
Ignites  
Knowledge

**Exhibit E**  
**Special Regulations**

1. The City agrees to approve final occupancy of completed residential structures as soon as sufficient fire service is in place and fire access has been established, subject to the developer providing a bond sufficient to secure the cost of completion of any public improvement that has not been completed and accepted at the time of the City's approval of final occupancy.
  
2. As construction of each phase is completed, representatives of the City shall inspect the water, sewer, drainage, and roadway improvements. If the City finds that such improvements have been completed in accordance with the final plats and specifications approved by the City (or any modifications thereof approved by the City), and in accordance with all other applicable laws, rules, and regulations, the City shall accept the same whereupon ownership of such improvements shall be transferred to the City and be operated and maintained by the City at its sole expense. The requirement for acceptance does not apply to recreational facilities and landscaping improvements that will be maintained by a homeowners association or public improvement district. Installation of franchise utilities shall be a requirement for acceptance, except that the developer may sell up to thirty percent of the lots within a platted phase without the completion of such installation if the developer indemnifies the City for any damage to the accepted improvements that results from the franchise utility provider installing such utilities after acceptance by the City. Installation of landscaping, hardscape, and amenity improvements shall not be a requirement for acceptance of a subdivision.
  
3. The centerline curve of streets and alleys shall have a minimum radius per the following table:

Classification	Minimum Centerline Radius (feet)			
	Design Speed, <i>V</i> (MPH)	Friction Factor, <i>F</i>	Superelevation, <i>e</i> (ft/ft)	Radius, <i>R</i> (ft) (Rounded for Design)
<b>Thoroughfare</b>	25	0.23	-0.02	250*
	30	0.20	-0.02	350
	35	0.18	-0.02	525
	40	0.16	-0.02	775
	45	0.15	-0.02	1100
	50	0.14	-0.02	1400
	<b>Collector</b>	300		
<b>Local</b>	300			
<b>Residential</b>	150			
<b>Loop streets and alleys</b>	75			

\*May be reduced to a 200 feet radius at mid-block locations provided that it is shown that the general public safety is not compromised (e.g., stopping sight distance). A curve with a radius less than 250 feet must be a minimum of 300 feet from a street or alley intersection.

4. Per the requirements of the City's Storm Drainage Design Manual, any upstream, off-site drainage flow contribution to the Property will be required to detain to pre-development flow, unless it is an existing facility designed under an alternative basis. In addition to the predevelopment flow, an allowance of ten percent will be added in analyzing any required on-

site detention systems as an added factor of safety. Any off-site flow contribution will not be required to be detained on the Property and may be released as a "pass-through" flow.

5. A drainage swale may be provided along CR-84 and CR-83 in lieu of installing curbs and gutters provided the maintenance of landscaping in this area of the right-of-way is funded through the PID or a homeowners association, to be determined at the time of platting.
6. If requested in writing by the Owner prior to the expiration date, any approved construction plat or construction drawings shall be automatically extended one time for one year. The City's staff shall provide the Owner written confirmation of such one-year extension upon receipt of the Owner's written request for such extension.