

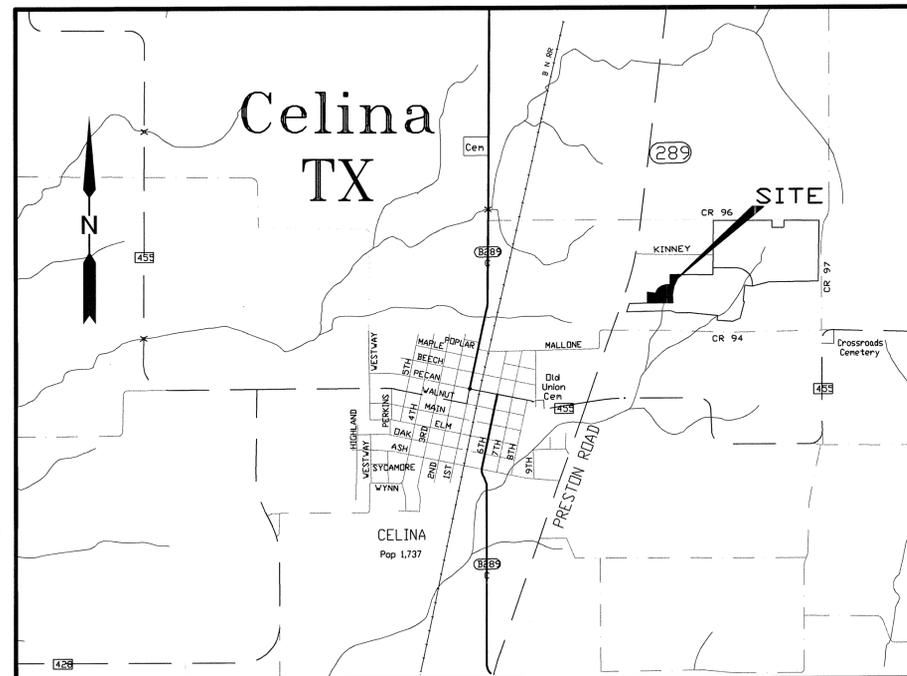
CONSTRUCTION PLANS FOR HERITAGE PHASE 1C CITY OF CELINA COLLIN COUNTY, TEXAS

DEVELOPER:

WILBOW CORPORATION, INC.
ABRAMS CENTRE
9330 LBJ FREEWAY STE. 745, LOCKBOX 68
DALLAS, TEXAS 75243
(972) 994-1672

ENGINEER \ SURVEYOR:

JONES & BOYD, INC.
16800 DALLAS PARKWAY, SUITE 240
DALLAS, TEXAS 75248
(972) 248-7676



LOCATION MAP
NOT TO SCALE

GENERAL NOTE

ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE CITY OF CELINA STANDARD CONSTRUCTION DETAILS FOR PAVING, DRAINAGE, WATER & SANITARY SEWER FACILITIES AND BE INSTALLED IN ACCORDANCE WITH THE CITY SPECIFICATIONS AND STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR NORTH CENTRAL TEXAS PUBLISHED BY NCTCOG. THESE SPECIFICATIONS SHALL BE MADE PART OF THESE PLANS. ALL WORK SHALL BE INSPECTED BY THE CITY OF CELINA PUBLIC WORKS INSPECTORS.

INDEX

SHEET NO.	DESCRIPTION
1-2	FINAL PLAT
3	STANDARD PAVING DETAILS
4	PAVING PLANS & PROFILE
5	GRADING PLAN
6	EROSION CONTROL PLAN
6A	EROSION CONTROL DETAILS
7	DRAINAGE AREA MAP
8	STORM SEWER PLAN & PROFILE
9	WATER & SANITARY SEWER PLAN & PROFILE
10	STANDARD WATER & SEWER DETAIL SHEET
11	TRAFFIC SIGNAGE & ILLUMINATION PLAN

RECORD DOCUMENTS
THESE RECORD DOCUMENTS HAVE BEEN PREPARED BASED ON INFORMATION PROVIDED BY OTHERS. JONES & BOYD, INC., HAS NOT VERIFIED THE ACCURACY AND/OR COMPLETENESS OF THIS INFORMATION, UNLESS OTHERWISE NOTED ON THESE DOCUMENTS. JONES & BOYD, INC., SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY BE INCORPORATED AS A RESULT OF ERRONEOUS INFORMATION PROVIDED BY OTHERS.

JONES & BOYD, INC.
BY: *[Signature]*
DATE: 10/11/04



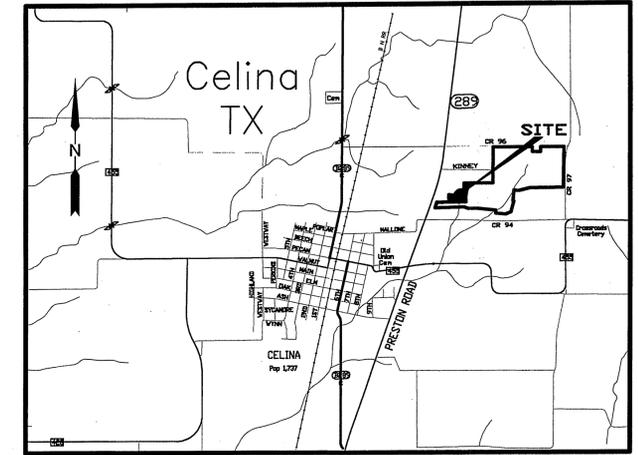
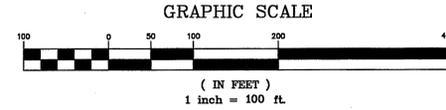
The seal appearing on this document was authorized by Jeffery M. Winkler, P.E. 90358. Alteration of a sealed document without proper notification to the responsible engineer is an offense under the Texas Engineering Practice Act.

FOR CONSTRUCTION

Note: Record Drawing constructed pad elevations updated on Dec. 21, 2004.

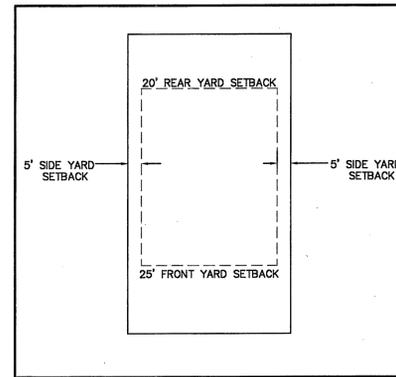
[Signature]

Filed for Record in
Collin County, McKinney TX
Honorable Brenda Taylor
Collin County Clerk
On May 05 2004
At 1:00pm
Doc/Num : 2004-0065220
Recording/Type: PL 31.00
Receipt #: 17557



LOCATION MAP
NOT TO SCALE

- LEGEND
- *****
 - IRF.....IRON ROD FOUND
 - IRS.....IRON ROD SET
 - H.O.A.....HOME OWNERS ASSOCIATION
 - UE.....UTILITY EASEMENT
 - DE.....DRAINAGE EASEMENT
 - SSE.....SANITARY SEWER EASEMENT
 - WE.....WATER EASEMENT
 - DUE.....DRAINAGE & UTILITY EASEMENT
 - PUE.....PUBLIC UTILITY EASEMENT
 - ◇.....STREET NAME CHANGE



TYPICAL LOT SETBACK DETAIL TYPE I

- NOTE:
- 1.) Lot 10, Block "M" is a Common Open Space dedicated to and maintained by the H.O.A. and is also designated as a Drainage & Floodway Easement to the City of Celina.
 - 2.) Lot 11, Block "M" is intended to be conveyed to and maintained by the First Baptist Church. Until that time the lot will be maintained by the H.O.A.

LINE	BEARING	DISTANCE
L1	S12°11'43"W	144.49'
L2	S08°46'32"W	29.58'
L3	S81°13'28"E	20.00'
L4	S12°11'43"W	145.39'

NO.	DELTA	RADIUS	LENGTH	TANGENT	CHORD BEARING	CHORD
C1	3°25'11"	250.00'	14.92'	7.46'	N 10°29'08" E	14.92'
C2	3°25'11"	280.00'	16.71'	8.36'	N 10°29'08" E	16.71'
C3	257°34'31"	50.00'	224.78'	62.21'	S 59°59'16" W	77.95'

LOT SUMMARY			
TYPE	AREA	TYPICAL	PHASE IB
I	7,500 S.F.	60'X125'	7
II	20,000 S.F.	100'X200'	0
		TOTAL	7

NOTE: Lots 3-9, Block M are Type I lots.

NOTE: THE POINT OF BEGINNING IS APPROXIMATELY 1,052 FEET WEST AND 1,315 FEET SOUTH OF THE NORTHEAST CORNER OF THE COLLIN COUNTY SCHOOL LAND SURVEY, ABSTRACT NO. 170

Final Plat

HERITAGE, PHASE 1C

7 RESIDENTIAL LOTS
1 COMMON OPEN SPACE LOT
1 RESERVE LOT

BEING 3.846 ACRES OF LAND
OUT OF THE
THE COLLIN COUNTY SCHOOL LAND SURVEY,
ABSTRACT NO. 170

CITY OF CELINA
COLLIN COUNTY, TEXAS

WILBOW - CELINA DEVELOPMENT CORP. OWNER/DEVELOPER

9330 LBJ Freeway, Suite 745, Lockbox 68
Dallas, TX 75243

(972) 479-0697

JONES & BOYD, INC.

SURVEYOR/ENGINEER

17090 Dallas Parkway, Suite 200
Dallas, Texas 75248

(972)248-7676

NOVEMBER 20, 2003

Sheet 1 of 2

Filed for Record in:
 Collin County, McKinney TX
 Honorable Brenda Taylor
 Collin County Clerk
 On May 05 2004 p 625
 At 1:00pm
 Doc/Num : 2004-0065220
 Recording/Type: PL 17557 31.00
 Receipt #:

OWNER'S CERTIFICATE

STATE OF TEXAS~
 COUNTY OF COLLIN~

WHEREAS WLBOW-CELINA DEVELOPMENT CORPORATION is the owner of a 3.846 acre tract of land in the City of Celina, Collin County, Texas, a part the Collin County School Land Survey, Abstract No. 170, being a part of a 134.258 acre tract of land conveyed to Wilbow-Celina Development Corporation as recorded in Volume 5202, Page 5393, Collin County Deed Records, and being further described as follows:

- BEGINNING at a 1/2" iron rod found at the northeast corner of a 7.0 acre tract of land conveyed to the First Baptist Church of Celina as recorded in Collin County Clerks File No. 93-0099848, said point being in the west line of said 134.258 acre tract;
- THENCE South 89 degrees 38 minutes 10 seconds East, 238.84 feet along the north line of said 134.258 acre tract;
- THENCE South 30 degrees 39 minutes 42 seconds West, 230.74 feet to a 1/2" iron rod set for corner;
- THENCE South 43 degrees 04 minutes 37 seconds West, 179.80 feet to a 1/2" iron rod set for corner;
- THENCE South 08 degrees 46 minutes 32 seconds West, 162.88 feet to a 1/2" iron rod set for corner;
- THENCE South 12 degrees 11 minutes 43 seconds West, 133.53 feet to a 1/2" iron rod set for corner;
- THENCE South 88 degrees 59 minutes 40 seconds West, 373.07 feet to a 1/2" iron rod set for corner;
- THENCE North 01 degrees 00 minutes 20 seconds West, 185.74 feet to a 1/2" iron rod set for corner in the south line of said 7.0 acre tract, said point being in the north line of said 134.258 acre tract;
- THENCE South 81 degrees 32 minutes 42 seconds East, 81.75 feet along the south line of said 7.0 acre tract and along the north line of said 134.258 acre tract to a 1/2" iron rod found for corner in the west line of said 134.258 acre tract and in the east line of said 7.0 acre tract;
- THENCE along the east line of said 7.0 acre tract and along the west line of said 134.258 acre tract as follows:
 - North 17 degrees 44 minutes 38 seconds East, 30.00 feet to a 1/2" iron rod found for corner;
 - Northeasterly, 336.78 feet along a non-tangent curve to the right which has a central angle of 68 degrees 54 minutes 49 seconds, and a radius of 280.00 feet, a tangent of 192.13 feet, and whose chord bears North 55 degrees 54 minutes 25 seconds East, 316.84 feet, to a 1/2" iron rod found for corner;
 - South 89 degrees 38 minutes 10 seconds East, 77.00 feet to a 1/2" iron rod found for corner;
 - North 00 degrees 21 minutes 50 seconds East, 250.00 feet to the POINT OF BEGINNING and containing 3.846 acres or 167,535 square feet of land.

OWNER'S DEDICATION

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

That WLBOW-CELINA DEVELOPMENT CORPORATION, acting herein by and through its duly authorized officer, does hereby adopt this plat designating the herein above described property as HERITAGE, PHASE 1C, an addition to the City of Celina, Texas, and does hereby dedicate, in fee simple, to the public use forever, the streets, rights-of-way, and other public improvements shown thereon. The streets and alleys, if any, are dedicated for street purposes. The easements and public use areas as shown are dedicated for the public use forever for the purposes indicated on this plat. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the easements as shown except that landscape improvements may be placed in landscape easements, if approved by the City Council of the City of Celina. In addition, utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's and City of Celina's use thereof. The City of Celina and public utility entities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easements. The City of Celina and public utility entities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time procuring permission from anyone.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Celina, Texas. Witness, my hand, this the 12th day of December, 20 03.

BY: WLBOW-CELINA DEVELOPMENT CORPORATION

 Authorized Signature of Owner
Greg E. Fitzgerald, President
 Printed Name and Title

State of Texas : Dallas
 County of Dallas :

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Greg E. Fitzgerald, Owner, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed. Given under my hand and seal of office, this 12th day of December, 20 03.


 Notary Public in and for the State of Texas



KNOW ALL MEN BY THESE PRESENTS:

That I, STEVEN E. HINES, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown therein as "set" were properly placed under my personal supervision in accordance with the Subdivision Ordinance of the City of Celina.


 Steven E. Hines, R.P.L.S. No. 5380



State of Texas :
 County of Dallas :

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared STEVEN E. HINES, Registered Professional Land Surveyor, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

Given under my hand and seal of office, this 12th day of December, 20 03.


 Notary Public in and for the State of Texas



FINAL PLAT

Approved by the City of Celina for filing at the office of the County Clerk of Collin County, Texas.

RECOMMENDED BY: Planning and Zoning Commission
 City of Celina, Texas

Richard Kuhl 10/28/2003
 Signature of Chairperson Date of Recommendation

APPROVED BY: City Council
 City of Celina, Texas

Carol Howard 12/9/03
 Signature of Mayor Date of Approval

ATTEST:

Vicki Faulkner 12/9/03
 City Secretary Date

[Signature] 2/18/04
 City Engineer Date

[Signature] 12/20/03
 City Planner Date

This property is located in the corporate limits of the City of Celina, Collin County, Texas.

Carol Howard 12/9/03
 Mayor, City of Celina Date

ATTEST:
Vicki Faulkner 12/9/03
 City Secretary, City of Celina Date

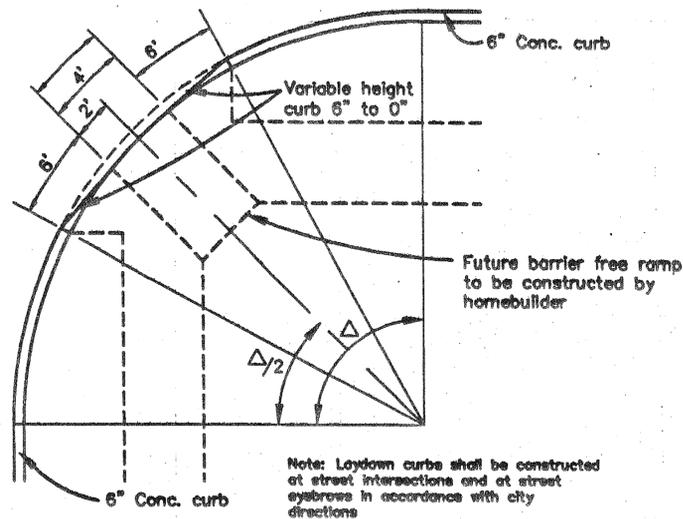
Final Plat
HERITAGE, PHASE 1C
 7 RESIDENTIAL LOTS
 1 COMMON OPEN SPACE LOT
 1 RESERVE LOT

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 COLLIN COUNTY, TEXAS

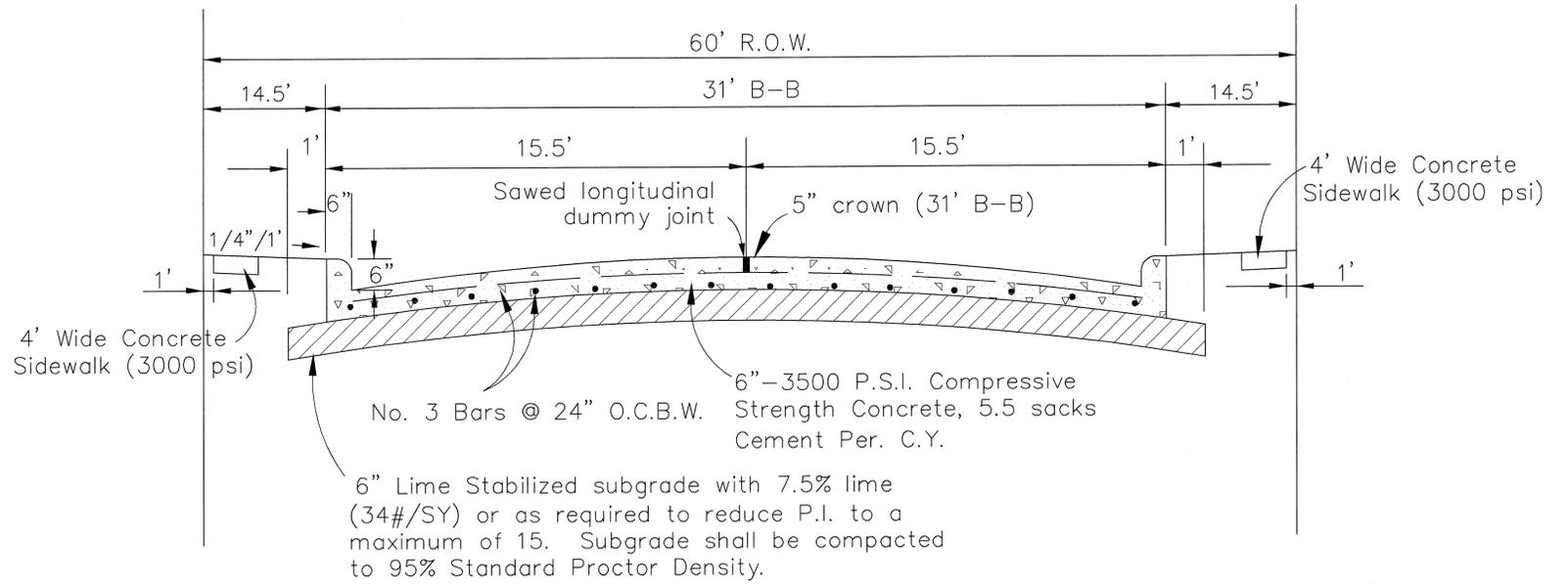
WLBOW - CELINA DEVELOPMENT CORP. OWNER/DEVELOPER
 9330 LBJ Freeway, Suite 745, Lockbox 68 (972) 479-0697
 Dallas, TX 75243

JONES & BOYD, INC. SURVEYOR/ENGINEER
 17090 Dallas Parkway, Suite 200 (972) 248-7676
 Dallas, Texas 75248

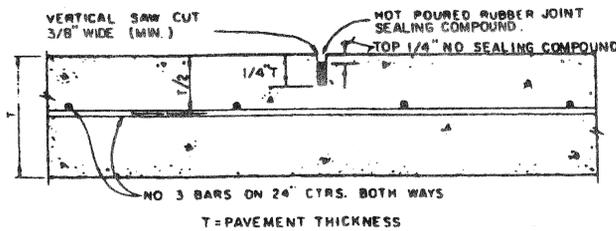
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 Plotted by: SAW
 Drawing: H:\projects\W401\dwg\XW401P1PH1C.dwg
 Drawing Info: SEH



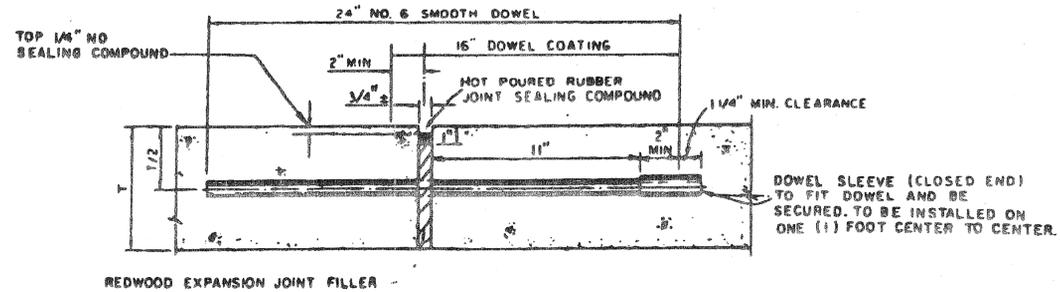
LAYDOWN CURB DETAIL
N.T.S.



**CITY OF CELINA
STREET PAVEMENT DETAIL**
N.T.S.



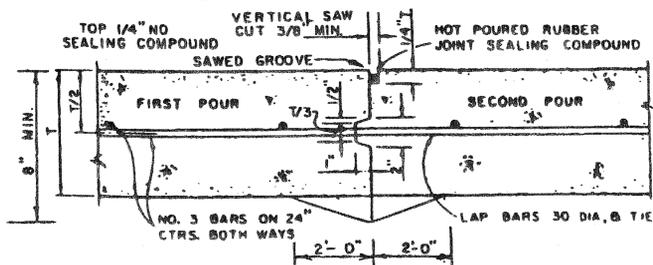
SAWED DUMMY JOINT



TRANSVERSE EXPANSION JOINT

(SPACED 600 FT. MAXIMUM, LOCATE AT INTERSECTIONS)
T = PAVEMENT THICKNESS

NOTE:
DOWELS & REINFORCING BARS SHALL BE SUPPORTED BY A BASKET OR OTHER APPROVED DEVICE.



CONSTRUCTION JOINT FOR PAVEMENTS

TRANSVERSE AND LONGITUDINAL JOINTS

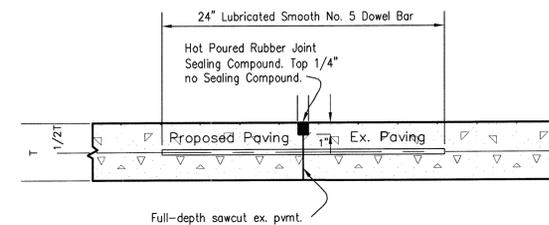
NOTE: CONTRACTOR SHALL PROTECT KEYWAY PRIOR TO SECOND POUR. IF LONGITUDINAL KEYWAY IS DAMAGED, CONTRACTOR SHALL REPAIR WITH THE USE OF LONGITUDINAL BUTT JOINT. DRILL DOWELS INTO FIRST POUR.

T = PAVEMENT THICKNESS
THICKENED EDGES ARE REQUIRED FOR FUTURE WIDENING ONLY.

NOTES:

ALL CONSTRUCTION MUST MEET CITY OF CELINA'S ORDINANCES.

SAWED DUMMY JOINTS SHALL BE SPACED AT 15- FEET FOR 6-INCH PAVEMENT AND 20- FEET FOR 8-INCH PAVEMENT.



NOTE:
Dowel bars shall be drilled into pmnt. horizontally by use of a mechanical rig. Drilling by hand is not acceptable. Pushing dowel into green concrete is not acceptable.

LONGITUDINAL BUTT JOINT

N.T.S.

RECORD DOCUMENTS
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JONES & BOYD, INC.
BY: *[Signature]*
DATE: 10/11/04

BENCHMARKS:

1. "1" Cut on top centerline headwall on Northeast corner Missouri West and Redbud Road. Elev. 764.92'
2. "1" Cut on top centerline headwall on Northeast corner Missouri East and Redbud Road. Elev. 764.92'

NO.	REVISIONS DURING CONSTRUCTION	BY	DATE	NO.	REVISIONS DURING PLAN REVIEW	BY	DATE
				2	Added note per staff comment.	SS	11/8/04
				1	REVISED STREET PVMT DETAIL	MAG	4/28/03

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[Signature]
FOR APPROVAL



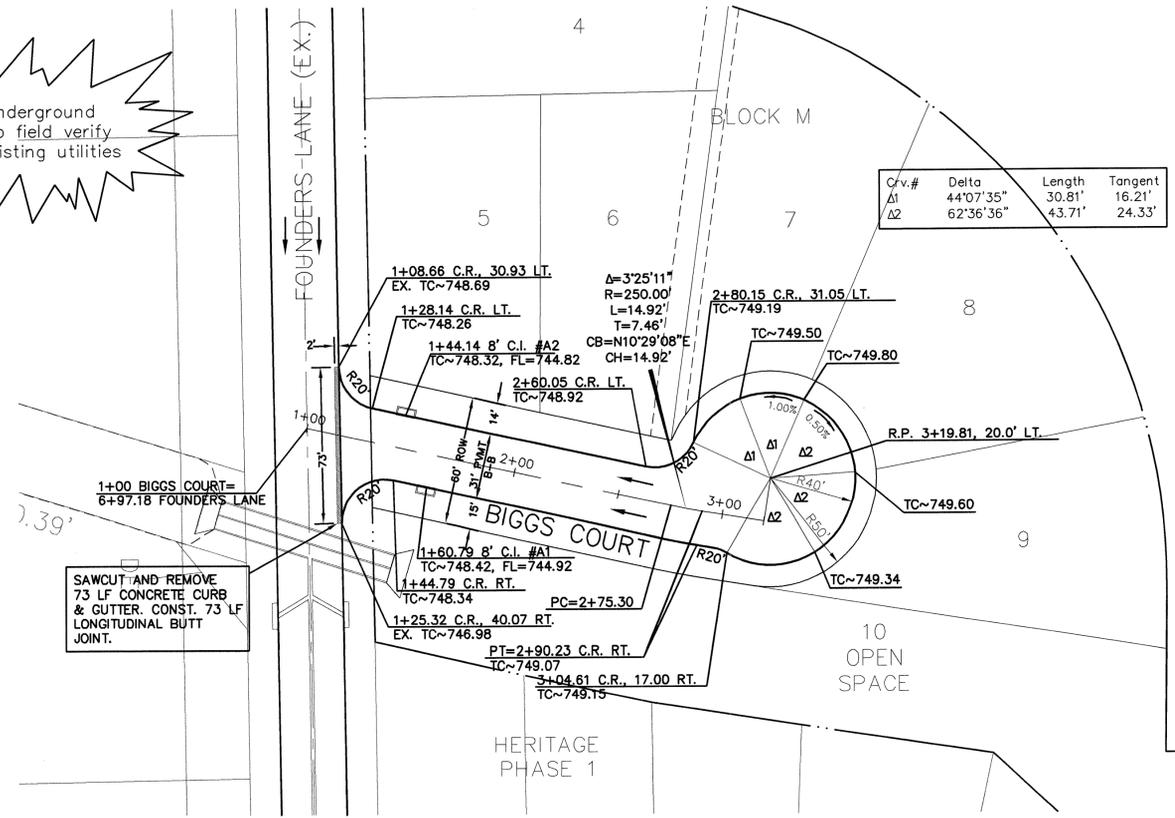
Jones & Boyd, Inc.
16800 Dallas Parkway, Suite 240
Dallas, Texas 75248
Tel: 972-248-7676
Fax: 972-248-1414

PAVING DETAILS
HERITAGE, PHASE 1C
CITY OF CELINA
COLLIN COUNTY, TEXAS

PROJECT NO.
W401
SHEET NO.
3

CAUTION: Existing underground utilities. Contractor to field verify the location of all existing utilities prior to excavation.

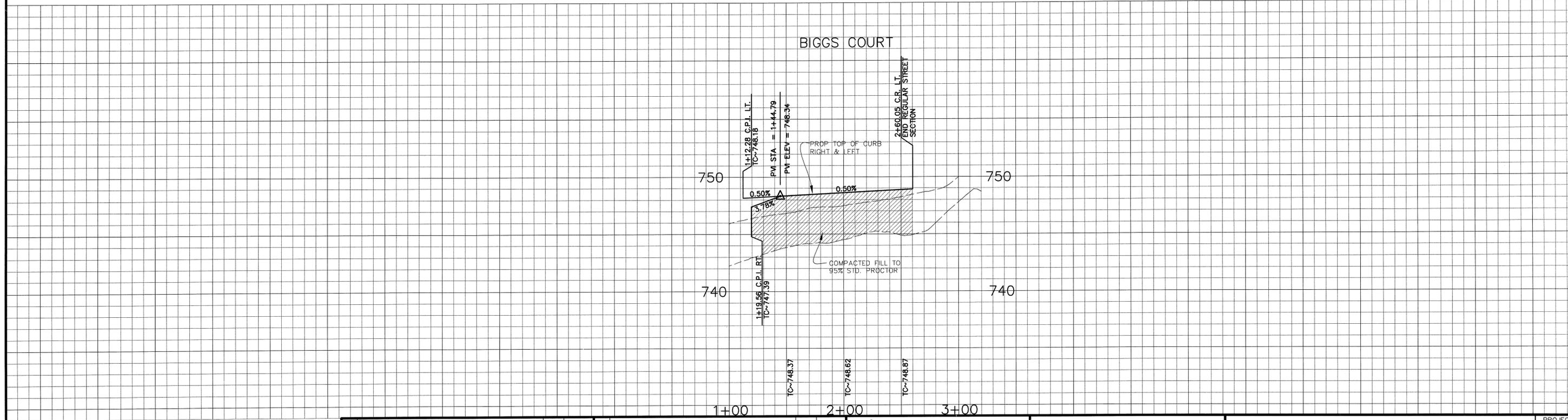
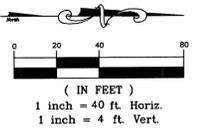
7.00 ACRES
FIRST BAPTIST
CHURCH CELINA
DOC.# 93-0099848
VOL.2428,PG.340



Curve #	Delta	Length	Tangent
Δ1	44°07'35"	30.81'	16.21'
Δ2	62°36'36"	43.71'	24.33'

SAWCUT AND REMOVE 73 LF CONCRETE CURB & GUTTER. CONST. 73 LF LONGITUDINAL BUTT JOINT.

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JONES & BOYD, INC.
BY: *[Signature]*
DATE: 10/11/04



- BENCHMARKS:**
- "D" Cut on top centerline headwall on Northeast corner Missouri West and Redbud Road. Elev. 764.92'
 - "E" Cut on top centerline headwall on Northeast corner Missouri East and Redbud Road. Elev. 764.92'

NO.	REVISIONS DURING CONSTRUCTION	BY	DATE	NO.	REVISIONS DURING PLAN REVIEW	BY	DATE
				1	REVISED LAYOUT	MAG	5/5/03

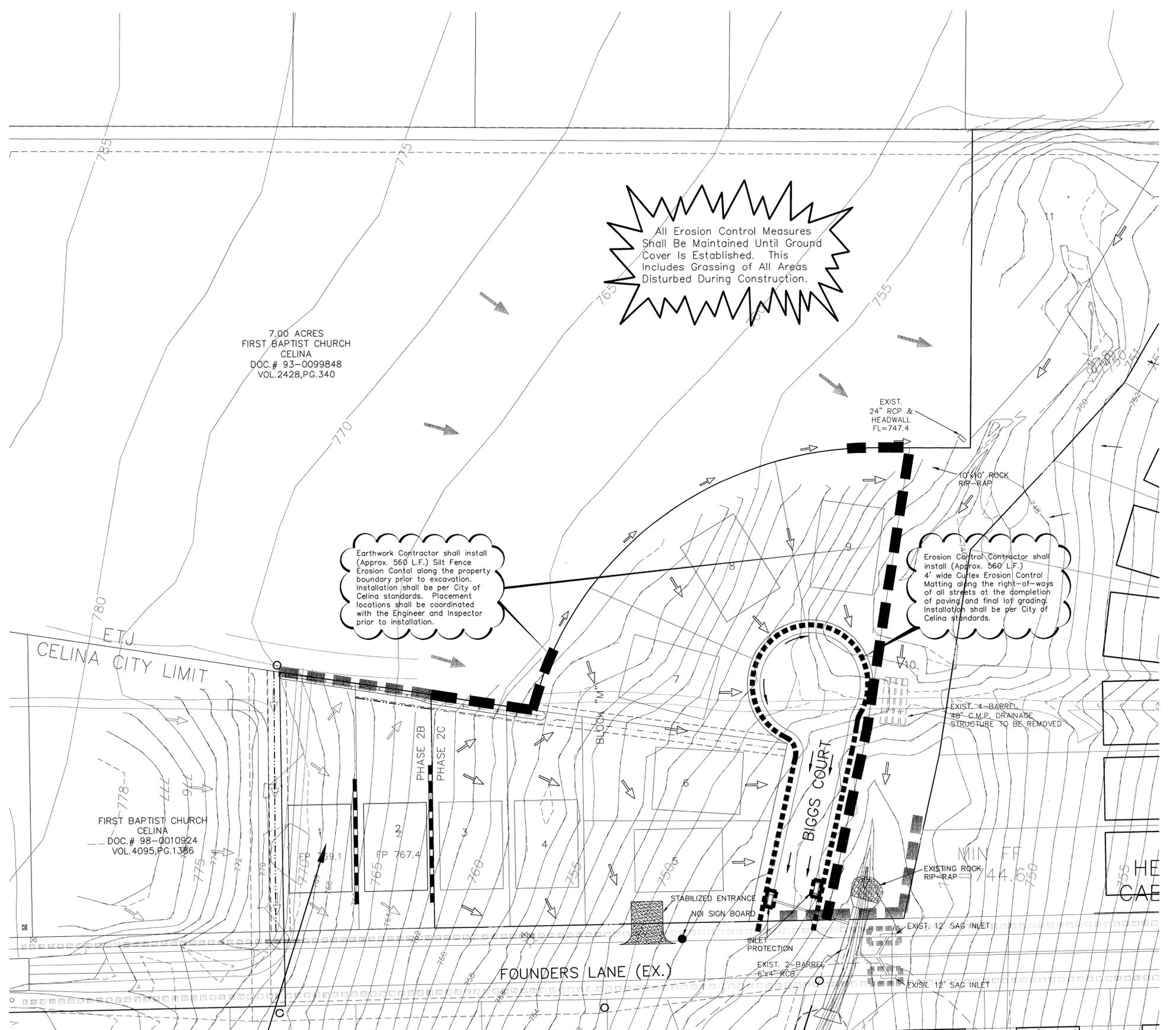
9/25/03
STATE OF TEXAS
JEFFERY M. WINKLER
90358
LICENSED PROFESSIONAL ENGINEER
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FOR APPROVAL

Jones & Boyd, Inc.
16800 Dallas Parkway, Suite 240
Dallas, Texas 75248
Tel: 972-248-7676
Fax: 972-248-1414

PAVING PLAN AND PROFILE
BIGGS COURT
HERITAGE, PHASE 1C
City of Celina, Collin County, Texas

PROJECT NO. WI401
SHEET NO. 4

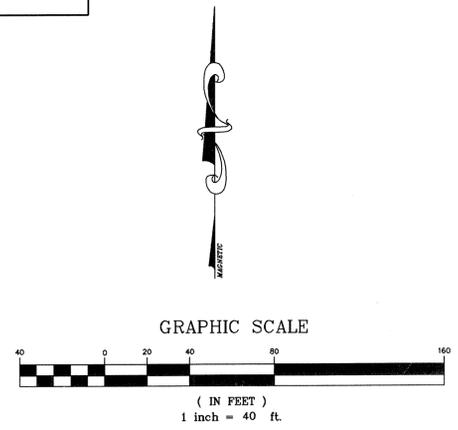
Plot info: Drawing: H:\Projects\WI401\dwg\WI401PV_PHTC.dwg Plotted by: jrd Plot date: 9/25/03 Plot time: 2:15 pm



LEGEND

— 625 —	Existing ground contours & elevations
☐	Prop. Inlet Protection by Utility/Paving Contractor
☐	Exist. Inlet Protection by Utility/Paving Contractor (Phase 1)
▨	Exist. Curlex Erosion Control Mat After Paving (Phase 1)
▨	Prop. Curlex Erosion Control Mat After Paving
▨	Exist. Silt Fence by Erosion Control Contractor (Phase 1 & 1B)
▨	Prop. Silt Fence by Erosion Control Contractor
→	Direction of Flow for Proposed Grading

All Erosion Control Measures shall be constructed per City of Celina standards and the details shown on sheet 6A.



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JONES & BOYD, INC.
 BY: [Signature]
 DATE: 10/11/04

- BENCHMARKS:**
1. "□" Cut on top centerline headwall on Northeast corner Missouri West and Redbud Road. Elev. 764.92'
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				1	REVISED LAYOUT	MAG	4/28/03



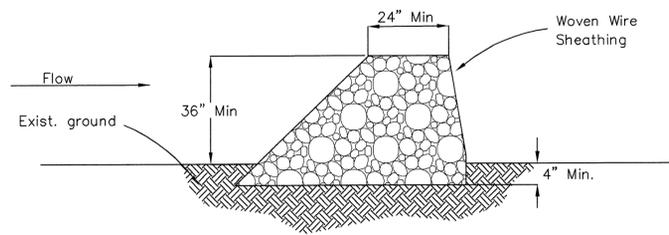
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FOR APPROVAL

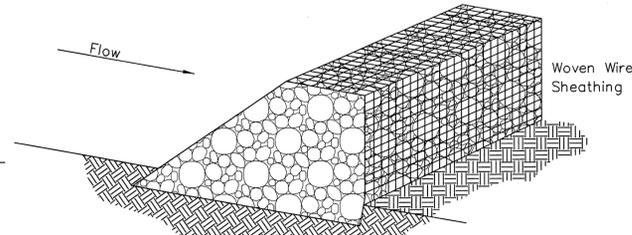
Jones & Boyd, Inc.
 16800 Dallas Parkway, Suite 240
 Dallas, Texas 75248
 Tel: 972-248-7676
 Fax: 972-248-1414

- Engineering
- Planning
- Landscape Architecture
- Surveying

EROSION CONTROL PLAN		PROJECT NO.	WI401
HERITAGE, PHASE 1C		SHEET NO.	6
City of Celina, Collin County, Texas			



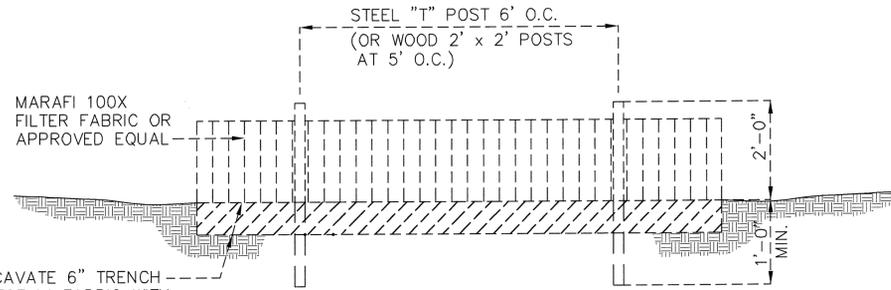
SECTION
N.T.S.



ISOMETRIC PLAN
N.T.S.

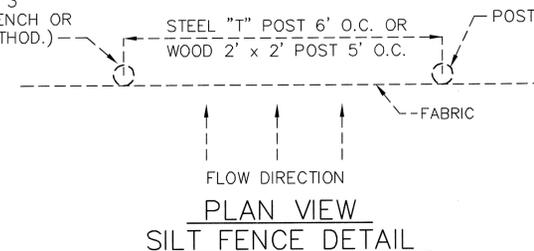
STONE OUTLET STRUCTURE:

1. Rock shall be open graded rock 4-8 inches in diameter.
2. Rock berm shall be enclosed by a woven wire sheathing with a maximum opening of one inch and a minimum wire size of 20 gauge.
3. When silt reaches a depth equal to one-third of the height of the berm or one foot, whichever is less, the silt shall be removed and disposed of at an acceptable location.

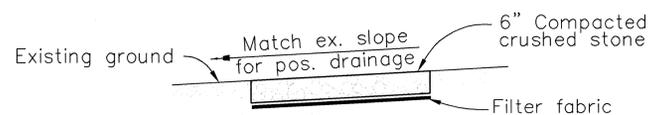


ELEVATION

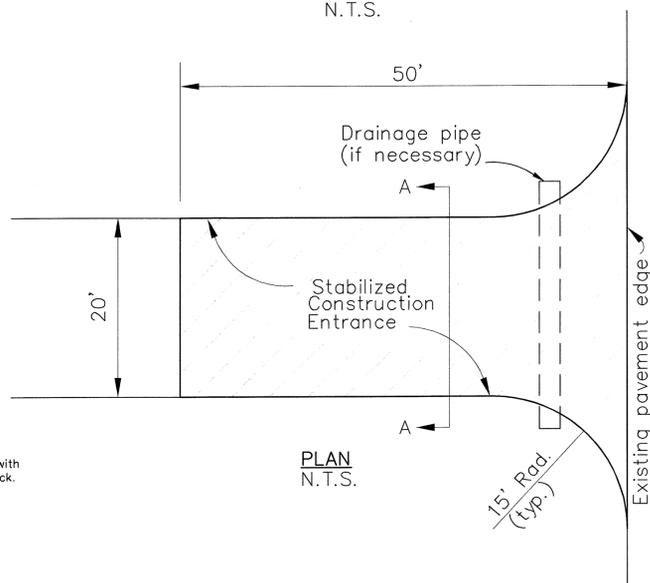
USE 14 GAUGE WIRE TO FASTEN FABRIC TO POST (EVERY 6" BEGINNING 3" FROM BOTTOM OF TRENCH OR APPROVED EQUAL METHOD.)



PLAN VIEW
SILT FENCE DETAIL



SECTION A-A
N.T.S.

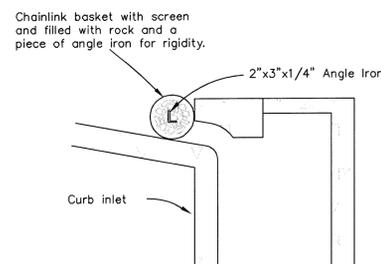


PLAN
N.T.S.

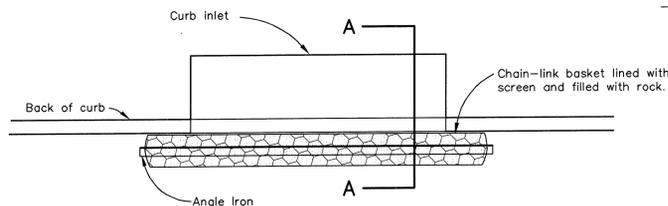
STABILIZED CONSTRUCTION ENTRANCE

STABILIZED CONST. ENTRANCE GENERAL NOTES:

1. Crushed stone for construction entrance shall be 2"-3" at greatest dimension and shall be installed to a compacted depth of six inches.
2. Filter fabric is to be Marafi 100X or equal. (Marafi, Inc.: 800-438-1855)
3. If construction entrance crosses a drainage ditch, swale, etc., a drainage pipe shall be installed with min. 12 inches cover of crushed stone.



SECTION A-A
N.T.S.



INLET EROSION PROTECTION
PLAN VIEW
N.T.S.

BENCHMARKS:

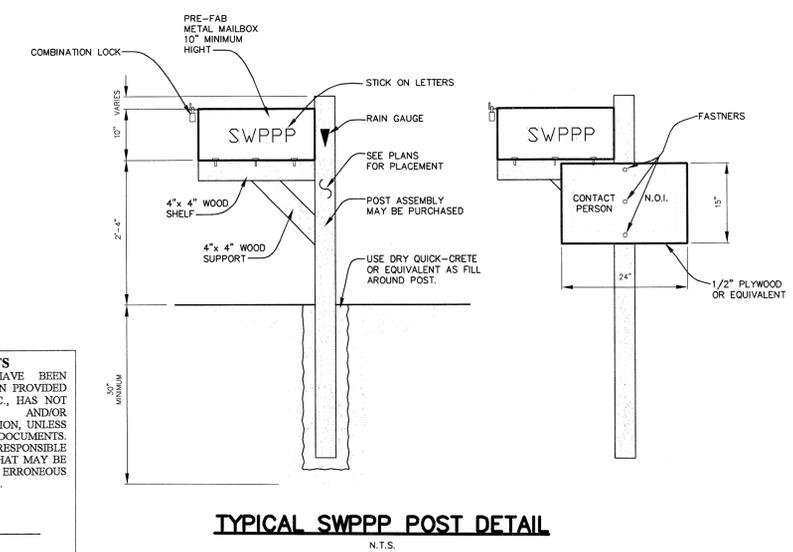
1. "□" Cut on top centerline headwall on Northeast corner Missouri West and Redbud Road. Elev. 764.92'
2. "□" Cut on top centerline headwall on Northeast corner Missouri East and Redbud Road. Elev. 764.92'

NO.	REVISIONS DURING CONSTRUCTION	BY	DATE	NO.	REVISIONS DURING PLAN REVIEW	BY	DATE
				1	Revised Inlet Erosion Protection per staff comment.	SS	11/8/03

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JONES & BOYD, INC.
BY: *[Signature]*
DATE: 10/11/04

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TYPICAL SWPPP POST DETAIL
N.T.S.

GENERAL NOTES FOR THE EROSION CONTROL PLAN

1. All operators and/or contractors shall conform to the terms and conditions of the National Pollution Discharge Elimination Systems (NPDES) General Permit as published in the Federal Register, Vol. 63, No. 128, July 6, 1998, by the Environmental Protection Agency (EPA).
2. The Notice of Intent (NOI), as required by the General Permit, must be properly displayed on site at all times by each operator.
3. All releases of reportable quantities of hazardous substances shall be reported immediately to the facility operator and EPA.
4. The Contractor shall inspect the site at least once every fourteen days and within 24 hours of a 1/2-inch or greater rainfall event. The Contractor shall document the results. Copies of the inspection reports shall accompany the Contractor's monthly pay request. The Contractor shall not be paid until said reports are presented to the Owner/Owner's Representative. The Earthwork Contractor shall be responsible for inspection until the Utility Contractor begins his work. The Utility Contractor shall be responsible for inspections until the Paving Contractor begins his work. The Paving Contractor shall be responsible for inspections until the Earthwork Contractor begins lot benching operations. The Earthwork Contractor shall make remaining inspections until project is accepted by the City.
5. Modifications to the Storm Water Pollution Prevention Plan shall be implemented and be in-place within a seven calendar day period.
6. If any contractor sees a violation by an operator or another contractor, he shall notify the operator and contractor in violation, as well as the facility operator.
7. Erosion control shall be installed prior to any grading.
8. Accumulated silt deposits shall be removed from silt fences and hay bale dikes when silt depth reaches six inches. Removal of silt deposits by the contractor shall be incidental to the performance of the contract and a separate bid item shall not be included.
9. The contractor shall add or delete erosion protection at the request and direction of the Operator or the City.
10. After installation of pavement, final lot benching and general cleanup, the grass groundcover shall be established in all street parkways, lots and all other disturbed areas. Materials shall be as specified in Item 2.15 and seeding shall be in accordance with Item 3.10 of the NCTCOG Standard Specifications. Depending upon schedule for house construction, grass establishment may be waived on a single lot basis if house construction begins immediately on that lot.
11. It shall be the contractor's responsibility to control and limit silt and sediment leaving the site. Specifically, the contractor shall protect all public streets, alleys, streams and storm drainage systems from erosion deposits.
12. If any erosion control is removed for construction and/or access purposes, the contractor shall replace it at the end of the work day.
13. It shall be the contractor's responsibility to provide a dumpster (or equal) to collect solid waste materials during construction.

Jones & Boyd, Inc.
16800 Dallas Parkway, Suite 240
Dallas, Texas 75248
Tel: 972-248-7676
Fax: 972-248-1414

EROSION CONTROL DETAILS

HERITAGE, PHASE 1C
City of Celina, Collin County, Texas

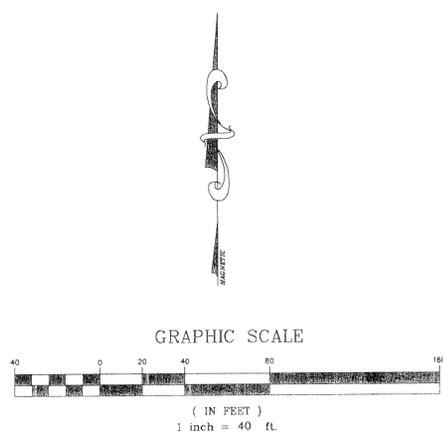
PROJECT NO. **WI401**
SHEET NO. **6A**



RUNOFF CALCULATIONS

Drainage Basin	Area (Acres)	Runoff Coeff.	Intensity (in./hr.)	Time Conc. (min.)	Discharge (c.f.s.)
W	1.20	0.55	7.52	15.0	4.96
X	0.25	0.55	7.52	15.0	1.03
Y	0.90	0.55	7.52	15.0	3.72
Z	0.64	0.55	7.52	15.0	2.65
Z1	1.12	0.55	7.52	15.0	4.63
OF-1	2.17	0.50	7.52	15.0	8.16
OF-2A	2.29	0.90	8.88	10.0	18.30
OF-2B	2.94	0.90	8.88	10.0	23.50
OF-3A	0.64	0.40	7.52	15.0	1.93
OF-3B	1.07	0.40	7.52	15.0	3.22
OF-4	94.88	0.50	7.52	15.0	356.76

DRAINAGE DESIGN THEORY
 Q=CIA
 Rational Method
 *C" and "I" values taken from City of Plano Standards



LEGEND

- D1 → DRAINAGE AREA NUMBER
- ACRES → AREA (Acres)
- CFS → RUNOFF (c.f.s.)
- ON-SITE DRAINAGE DIVIDE
- PROP. ON-SITE FLOW DIRECTION
- EXIST. OFF-SITE FLOW DIRECTION
- EXIST. 5' INTERVAL CONTOUR
- EXIST. 1' INTERVAL CONTOUR

RECORD DOCUMENTS
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JONES & BOYD, INC.
 BY: *[Signature]*
 DATE: 10/13/04

BENCHMARKS:
 1. "□" Cut on top centerline headwall on Northeast corner Missouri West and Redbud Road. Elev. 764.92'
 2. "□" Cut on top centerline headwall on Northeast corner Missouri East and Redbud Road. Elev. 764.92'

NO.	REVISIONS DURING CONSTRUCTION	BY	DATE	NO.	REVISIONS DURING PLAN REVIEW	BY	DATE
1	Update offsite drainage areas & flow arrows.	JMW	9/9/04	1	REVISED LAYOUT	MAG	5/2/03
				2	Corrected offsite drainage area calcs.	SJS	1/26/04

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[Professional Seal]
 JEFFERY M. WINKLER
 90358
 LICENSED PROFESSIONAL ENGINEER

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 Dallas, Texas 75248
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 Fax: 972-248-1414

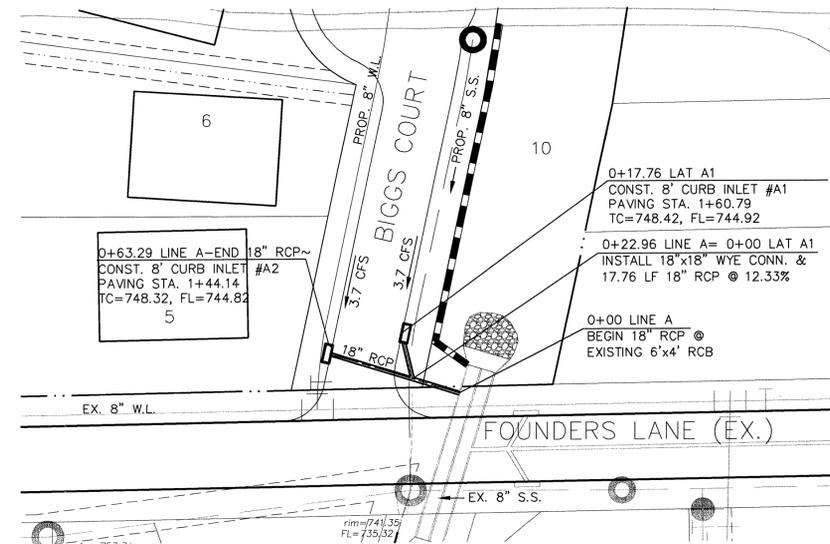
DRAINAGE AREA MAP		PROJECT NO.	WI401
HERITAGE, PHASE 1C		SHEET NO.	7
City of Celina, Collin County, Texas			

STORM CALCULATIONS

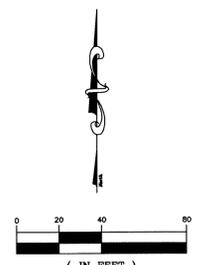
LN A	UPSTREAM STATION	DNSTREAM STATION	DISTANCE	AREA NO.	AREA "A" (ACRES)	RUNOFF COEF. "C"	INCREM. "CA"	ACCUM. "CA"	TIME AT UPSTREAM STATION (MIN)	STORM FREQUENCY (YEARS)	INTENSITY "I" (IN/HR)	RUNOFF "Q" (CFS)	SLOPE HYDRAULIC GRADIENT "S" (FT/FT)	STORM SEWER RCP SIZE (IN)	VELOCITY "V" (FPS)	FLOW TIME (MIN)	TIME AT DNSTREAM STATION (MIN)
	63.29	24.71	38.58	Z1	1.12	0.55	0.62	0.62	15.00	100	7.52	4.6	0.0019	18	2.62	0.25	15.25
	24.71	0.00	24.71	Z	0.64	0.55	0.35	0.97	15.00	100	7.52	7.3	0.0048	18	4.12	0.10	15.10
LAT A1	LAT A1																
	17.76	0.00	17.76	Z	0.64	0.55	0.35	0.35	15.00	100	7.52	2.6	0.0066	18	1.50	0.20	15.20

INLET CALCULATIONS

No.	INLET Location	AREA RUNOFF Q=CIA							Inlet Bypass and Crossover (c.f.s.)	From	Total Gutter Flow (c.f.s.)	Gutter Slope (%)	Gutter Capacity (c.f.s.)	Crown Type	Length "L" (Feet)	SELECTED INLET			
		Drainage Area	Storm Freq. (yrs.)	Time of Conc. (min.)	Intensity I (in./hr.)	Runoff Coeff. "C"	Area (Ac.)	Q (c.f.s.)								Inlet Capacity (c.f.s.)	Carry-Over Downstream (c.f.s.)	Q100	
A1	1+45.14 BIGGS COURT	Z1	100	15	7.52	0.55	1.13	4.7	-1.0	NA	3.7	0.5	7.18	5" Para.	8	ON-GRADE	5.6	0.0	4.7
A2	1+61.79 BIGGS COURT	Z	100	15	7.52	0.55	0.66	2.7	1.0	NA	3.7	0.5	7.18	5" Para.	8	ON-GRADE	5.6	0.0	2.7

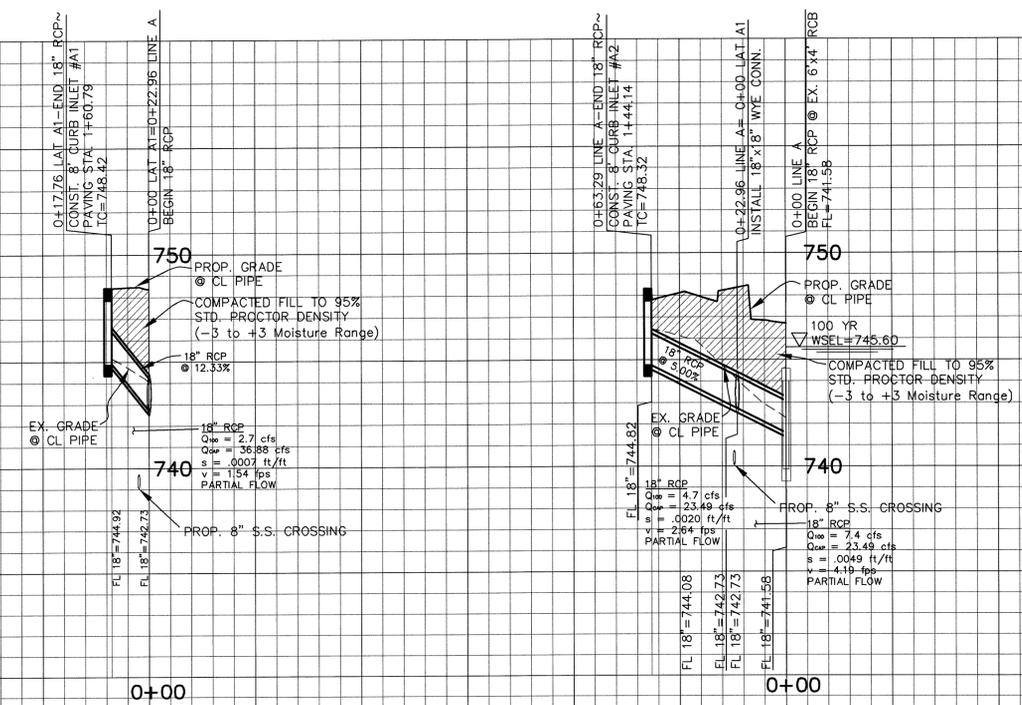


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 BY: *[Signature]*
 DATE: 10/10/04



LAT. "A1"

LINE "A"



- BENCHMARKS:**
- "D" Cut on top centerline headwall on Northeast corner Missouri West and Redbud Road. Elev. 764.92'
 - "D" Cut on top centerline headwall on Northeast corner Missouri East and Redbud Road. Elev. 764.92'

NO.	REVISIONS DURING CONSTRUCTION	BY	DATE	NO.	REVISIONS DURING PLAN REVIEW	BY	DATE
				1	REVISED LAYOUT	MAG	5/5/03

6/17/03
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 FOR APPROVAL

Jones & Boyd, Inc.
 16800 Dallas Parkway, Suite 240
 Dallas, Texas 75248
 Tel: 972-248-7676
 Fax: 972-248-1414

STORM SEWER PLAN & PROFILE
 STORM LINE A & LATERAL A1
 HERITAGE, PHASE 1C
 City of Celina, Collin County, Texas

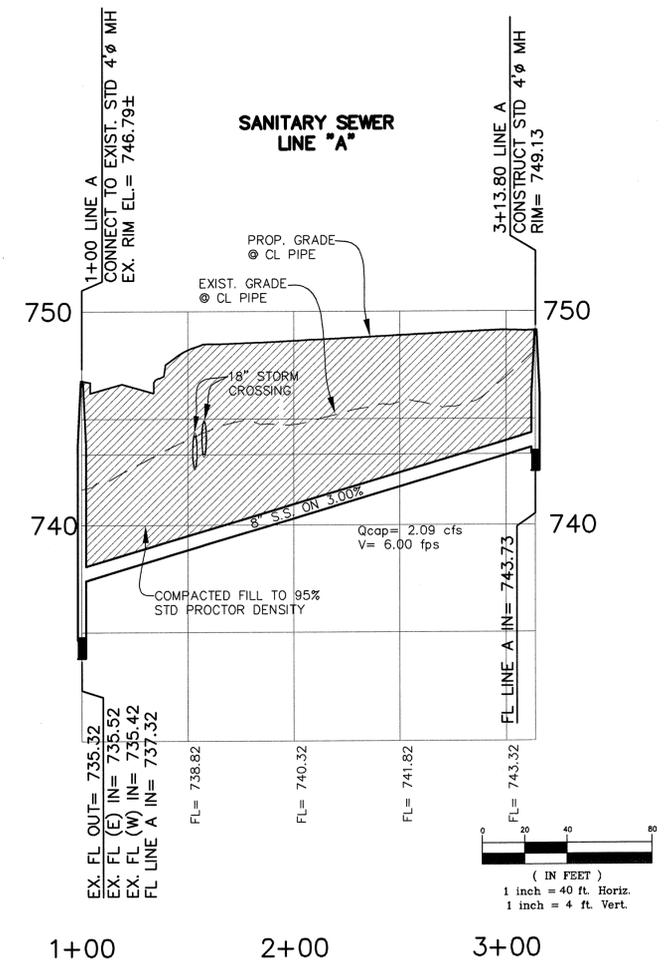
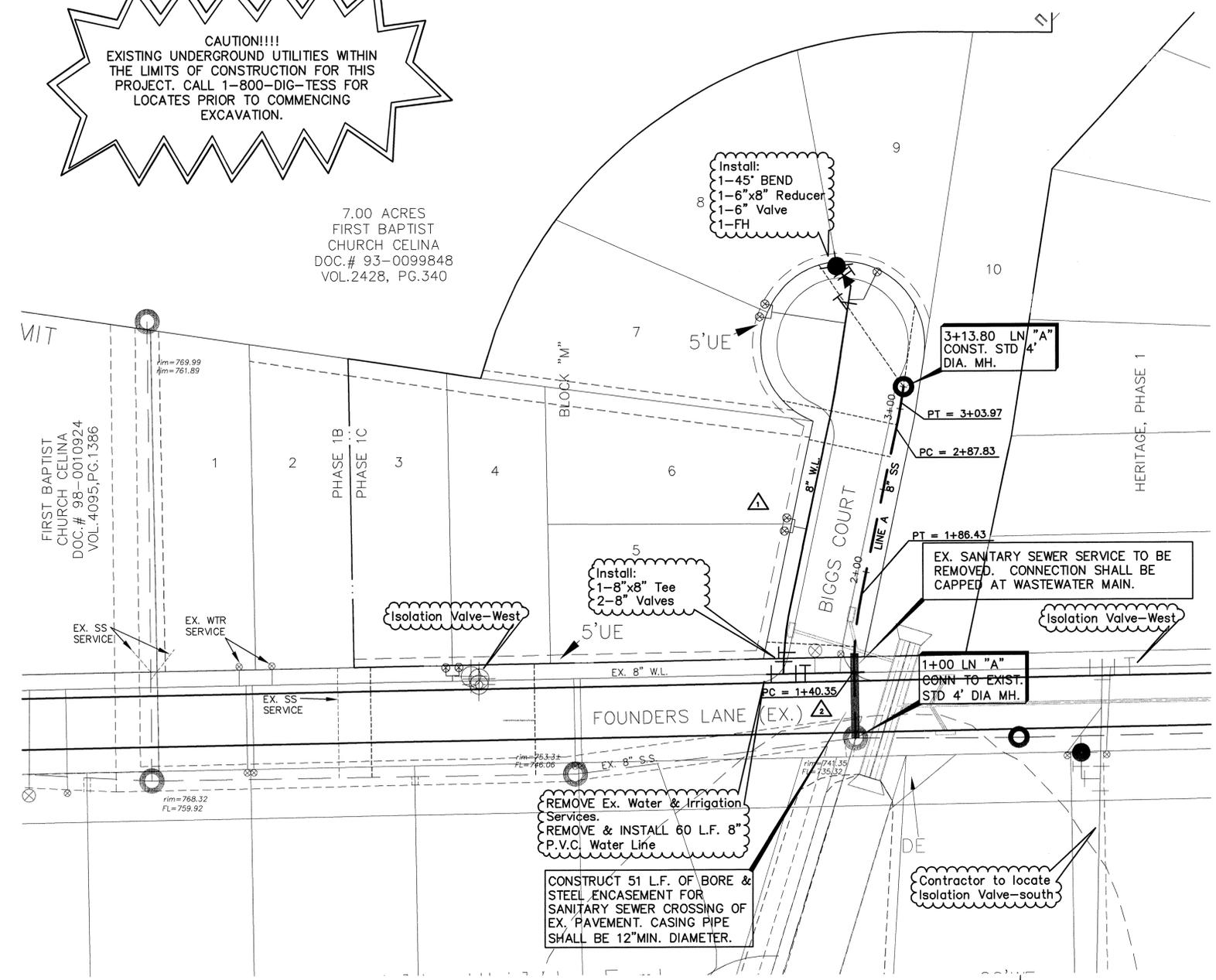
PROJECT NO. **W1401**
 SHEET NO. **8**

Plot time: 10:09 am 6/17/03 Plotted by: EDU W401ST_P11C.dwg H:\Projects\W401\dwg Drawing: W401ST_P11C.dwg H:\Projects\W401\dwg 6/17/03 10:09 am

CAUTION!!!
EXISTING UNDERGROUND UTILITIES WITHIN THE LIMITS OF CONSTRUCTION FOR THIS PROJECT. CALL 1-800-DIG-TESS FOR LOCATES PRIOR TO COMMENCING EXCAVATION.

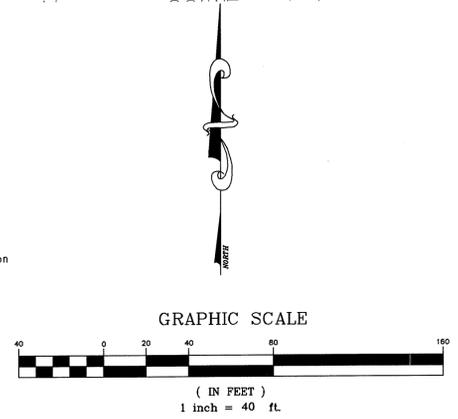
7.00 ACRES
FIRST BAPTIST
CHURCH CELINA
DOC.# 93-0099848
VOL.2428, PG.340

NOTE: ALL FIRE HYDRANTS SHALL BE CLOW AND ALL FITTING SHALL BE MECHANICAL JOINTS AND RESTRAINED PER CITY STANDARDS.



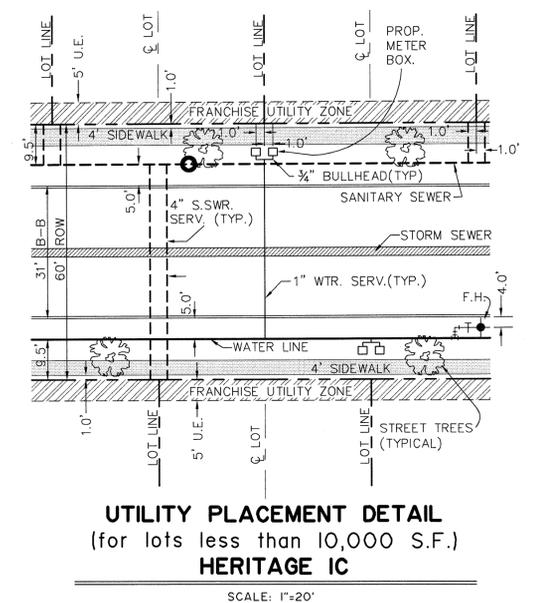
SCHEDULE OF SERVICES			
WATER	2	EX. 1" SERVICE	LOTS 1 & 2 BLK M
	1	PROP. 1" SERVICE OFF EX. LINE w/ 3/4" CONNECTIONS	LOTS 3-4, BLK M
	3	PROP. 1" SERVICE OFF PROP. LINE w/ 3/4" CONNECTIONS	LOTS 5-9, BLK M
SANITARY	2	EX. 4" LATERAL	LOTS 1 & 2 BLK M
	2	PROP. 4" LATERAL OFF EX. LINE	LOTS 3-4, BLK M
	5	PROP. 4" LATERAL OFF PROP. LINE	LOTS 5-9, BLK M

LEGEND	
	Exist. Fire Hydrant
	Exist. Water Manhole
	Exist. Sanitary Sewer Manhole
	Exist. Storm Sewer
	Exist. Water Valve
	Exist. Utility pole
	Exist. Telephone Pedestal
	Prop. Sanitary Sewer Main & Flow Direction
	Prop. Sanitary Sewer Manhole
	Prop. Storm Sewer
	Prop. Fire Hydrant
	Prop. Water Meter
	Prop. Water Line & Valve



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BY: *[Signature]*
DATE: 10/11/04



BENCHMARKS:
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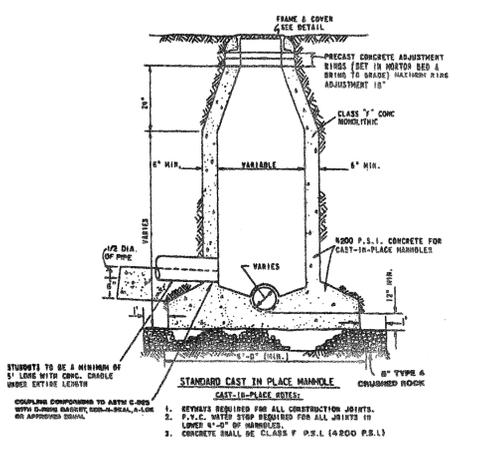
NO.	REVISIONS DURING CONSTRUCTION	BY	DATE	NO.	REVISIONS DURING PLAN REVIEW	BY	DATE
				5	Added Fire hydrant note	CJB	2/23/04
				4	Changed Water services to Bullhead connections	CJB	2/23/04
△	RECORD DRAWINGS: EXTENDED ENCASEMENT AND ADDED 8" VALVE	CMR	10/7/04	3	Added 8"x 6" reducer to water line	SJS	1/26/04
△	REVISED LINE "A" FL @ STA. 3+13.80	JRD	3/1/04	2	REVISED WATER & ADDED DETAIL	BJ	11/3/03
△	REVISED LAYOUT			1	REVISED LAYOUT	MAG	5/2/03
					REVISIONS DURING PLAN REVIEW		

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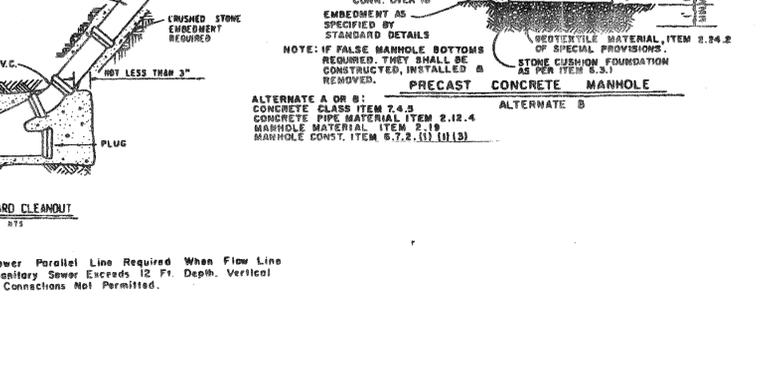
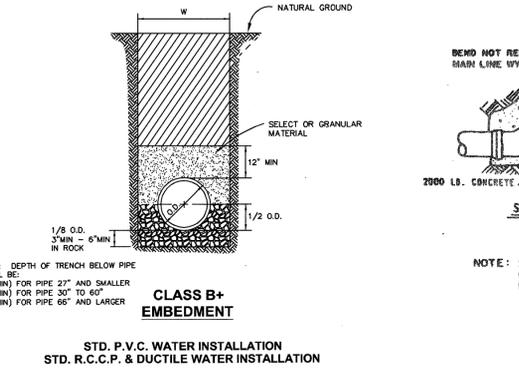
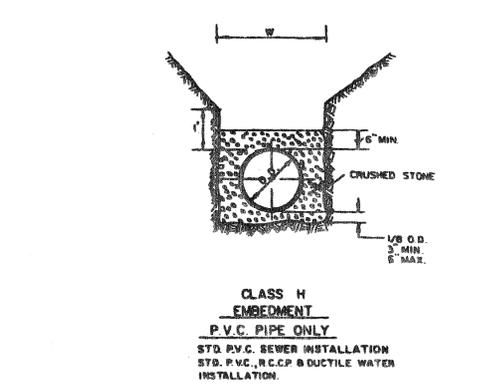
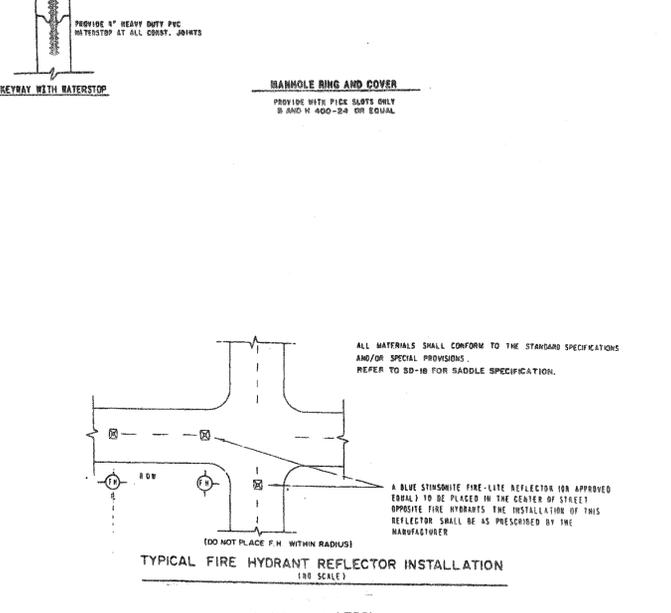
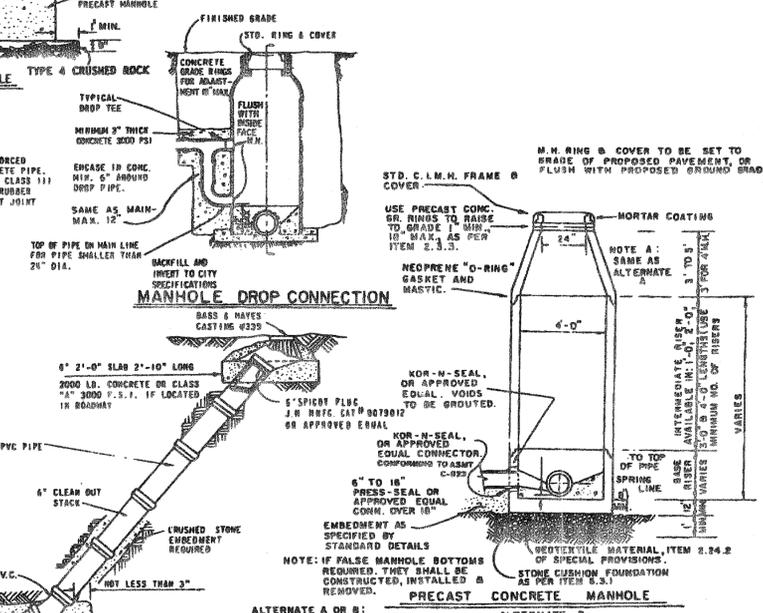
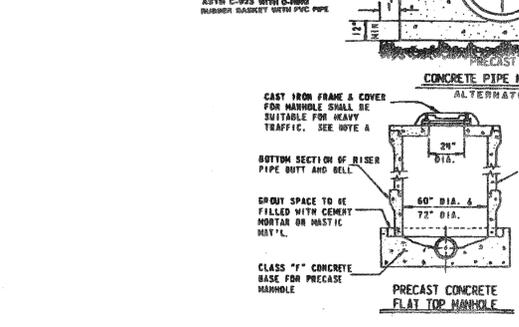
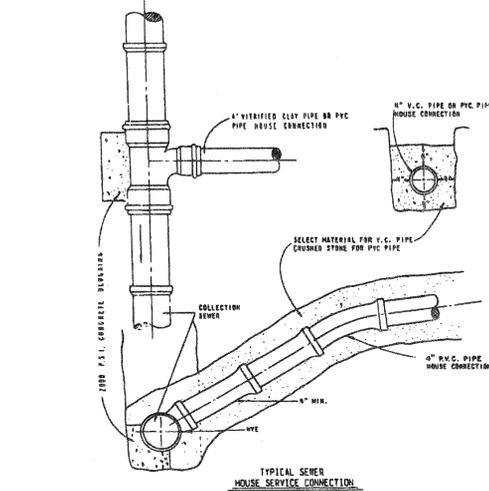
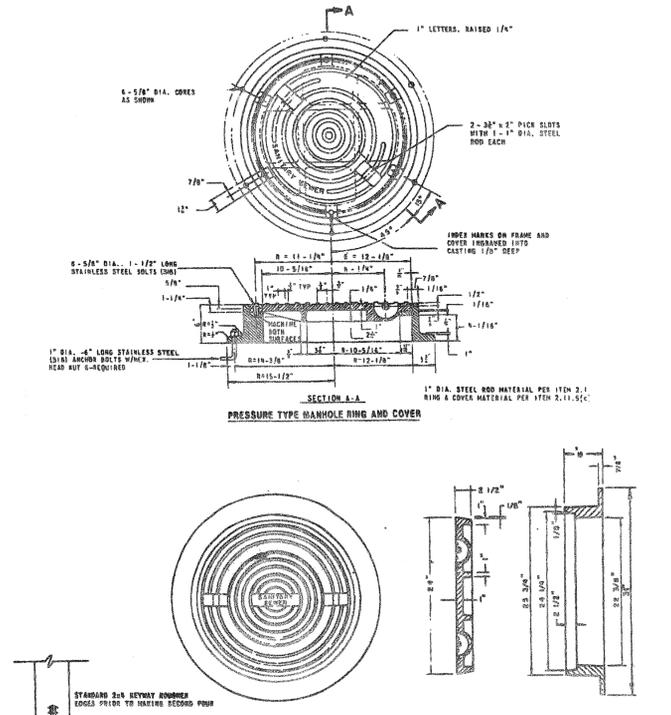
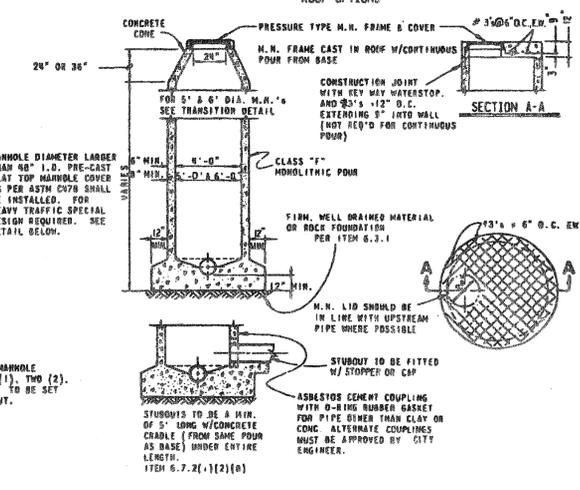
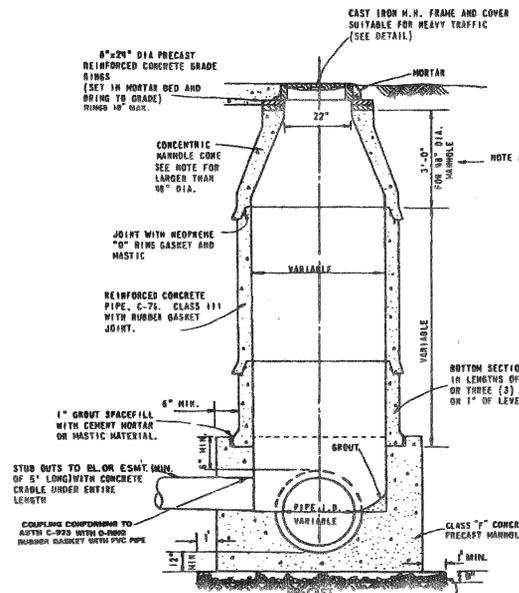
[Signature] 10/11/04 RECORD DRAWING

Jones & Boyd, Inc.
16800 Dallas Parkway, Suite 240
Dallas, Texas 75248
Tel: 972-248-7676
Fax: 972-248-1414

WATER & SANITARY SEWER PLAN		PROJECT NO.
		WI401
HERITAGE, PHASE 1C		SHEET NO.
City of Celina, Collin County, Texas		9



- GENERAL NOTES**
- All Sanitary Sewer Pipe shall be Vitrified Clay, or PVC SDR-35 Pipe. Other Pipe shall be Subject to Approval by the City Engineer.
 - Sanitary Sewer Pipe Joints shall Conform to Current ASTM Designations for Vitrified Clay Pipe and For PVC Pipe.
 - All Sanitary Sewer Laterals shall include 4" Tee Wye Bend, Pipe and Stopper Installed 10' Down from the Water Main Service on Each Lot. Unless Otherwise Indicated on Plans, 6" Laterals, Riser, MH, or Man Sewer Pipe.
 - Unless Otherwise Noted, All Material and Construction shall Conform to the Standard Specifications and/or Special Provisions.
 - In the Event an Item is Not Covered in the Division Specifications, the City Engineer's Decision shall Apply.
 - Drop Manhole Required for Connection of 12" or Greater.
 - All Manholes shall be Vacuum Tested in Accordance with the Specs.
 - All Pipes Entering & Leaving a Manhole shall be Credited for a Distance of 5' Outside of M.H.



- BENCHMARKS:**
- 1" Cut on top centerline headwall on Northeast corner Missouri West and Redbud Road. Elev. 764.92'
 - 2" Cut on top centerline headwall on Northeast corner Missouri East and Redbud Road. Elev. 764.92'

NO.	REVISIONS DURING CONSTRUCTION	BY	DATE	NO.	REVISIONS DURING PLAN REVIEW	BY	DATE
				1	Changed water line embedment to Class B+	SJS	1/26/04

STATE OF TEXAS
 JEFFERY M. WINKLER
 90358
 LICENSED PROFESSIONAL ENGINEER
 For APPROVAL

Jones & Boyd, Inc.
 16800 Dallas Parkway, Suite 240
 Dallas, Texas 75248
 Tel: 972-248-7676
 Fax: 972-248-1414

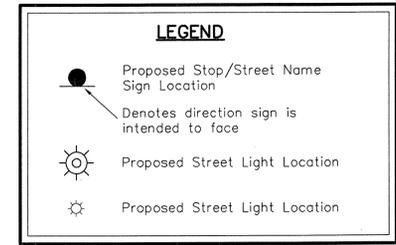
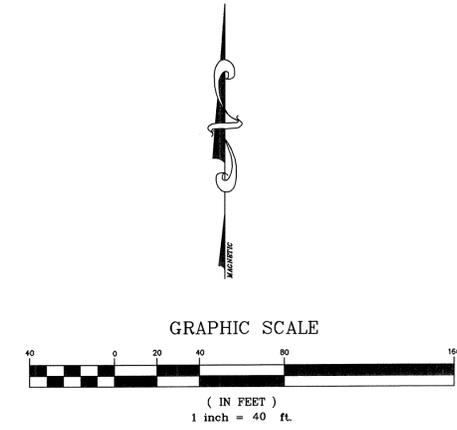
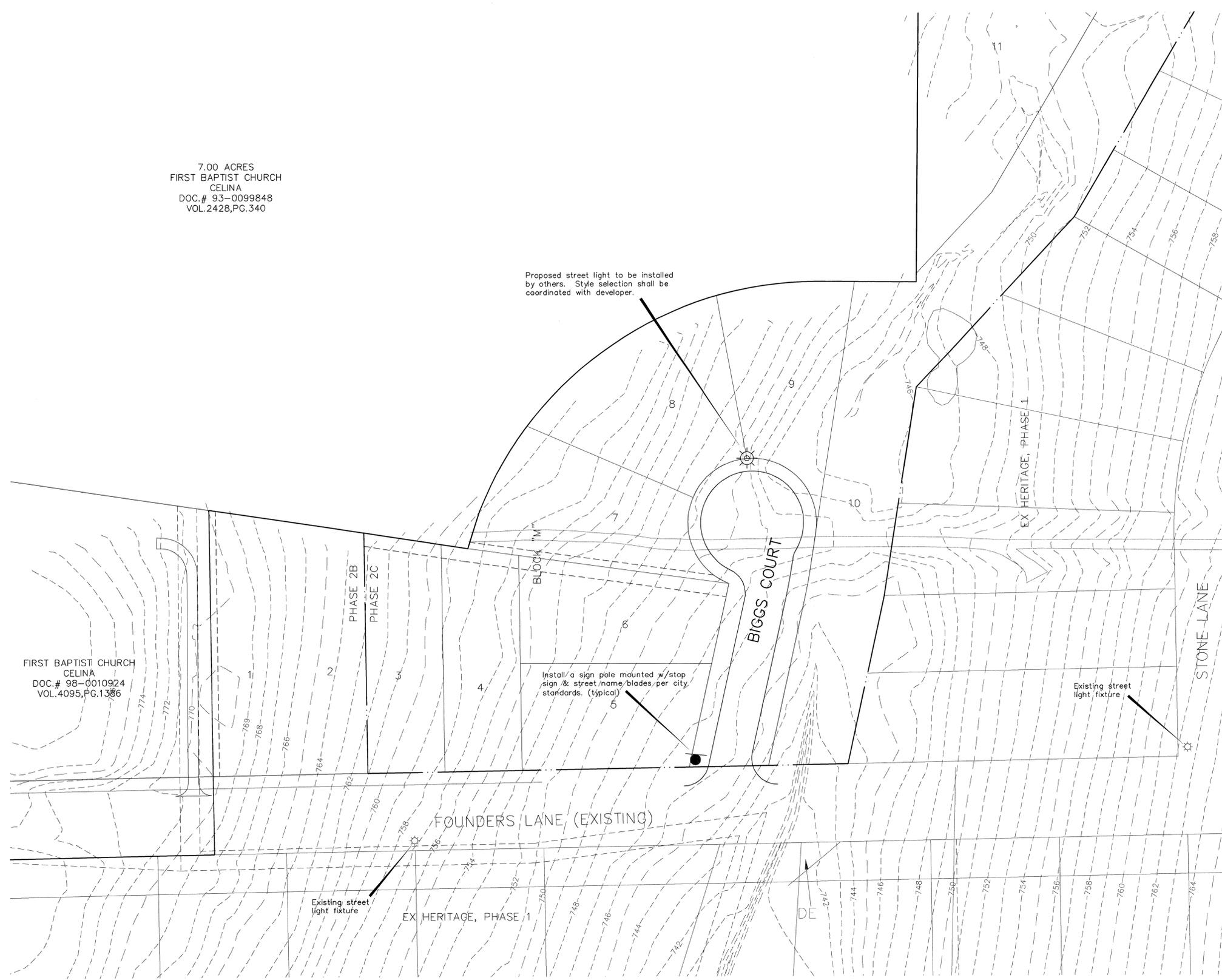
WATER & SANITARY SEWER DETAILS
HERITAGE, PHASE 1C
 CITY OF CELINA
 COLLIN COUNTY, TEXAS

PROJECT NO. W401
 SHEET NO. 10

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JONES & BOYD, INC.
 DATE: 1/16/04

7.00 ACRES
 FIRST BAPTIST CHURCH
 CELINA
 DOC.# 93-0099848
 VOL.2428,PG.340



FIRST BAPTIST CHURCH
 CELINA
 DOC.# 98-0010924
 VOL.4095,PG.1386

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JONES & BOYD, INC.
 BY: *[Signature]*
 DATE: 10/11/04

- BENCHMARKS:**
1. "1" Cut on top centerline headwall on Northeast corner Missouri West and Redbud Road. Elev. 764.92'
 2. "2" Cut on top centerline headwall on Northeast corner Missouri East and Redbud Road. Elev. 764.92'

NO.	REVISIONS DURING CONSTRUCTION	BY	DATE	NO.	REVISIONS DURING PLAN REVIEW	BY	DATE
				1	NEW SHEET ADDED	CJB	2/23/04



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Jones & Boyd, Inc.
 16800 Dallas Parkway, Suite 240
 Dallas, Texas 75248
 Tel: 972-248-7676
 Fax: 972-248-1414

TRAFFIC SIGNAGE & ILLUMINATION		PROJECT NO.
HERITAGE, PHASE 1C		WI401
City of Celina, Collin County, Texas		SHEET NO.
		11